



MEDITERRA

at East Highlands

City of Highland – January 12, 2021



MEDITERRA Planned Development Plan

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Chapter 1: Introduction

1-1: Purpose and Objectives of the Plan

The Purpose of the Mediterra Planned Development Plan (“Plan”) is to provide the community’s Land Use Plan with specific permitted uses for the different portions of the Plan area. The Plan also establishes the guidelines and standards for the community planning, design, and implementation of improvements, amenities, and housing products for the Plan area, with adequate provisions for infrastructure, services, and public safety.

The main objective of the Mediterra Plan is to create a residential community with character and quality that fits the context of the East Highlands area, and reflects the site’s adjacent foothills and its Mediterranean feel. The integration of site planning, architecture, and landscape standards into neighborhood design is key to achieving the objectives of this community, striving to create a lifestyle that encourages movement, recreation, and connectivity with the immediate surroundings.

The Plan provides the framework to make the Mediterra Community an integral part of the East Highlands area and to be an asset to the surrounding community with attainable starter and move-up housing opportunities with a diversity of lot and residence sizes.

The Plan area is located along Greenspot Road in the East Highlands area of the City of Highland, north and west of the Santa Ana River, and south of the San Bernardino National Forest. Mediterra’s regional and local settings are shown on Exhibit 1-1: Regional Map and Exhibit 1-2: Vicinity Context.



Exhibit 1-1: Regional Map



Exhibit 1-2: Vicinity Context



1-2: Community Setting

The East Highlands area, like many communities across Southern California, enjoys climate and topographical similarities with the Mediterranean region with the sunny warm summers, rolling hills, and fertile land that produced quality Navel and Valencia oranges for generations. Mediterra is designed to respect this East Highlands setting, an area rich in heritage and quality of life with a set of natural amenities and beauties well deserving of preservation and incorporation into the community's future.

The Mediterra Plan area includes properties currently owned by the Calvary Chapel of San Bernardino and Greenspot Corridor, LLC totaling approximately 178.73 acres. San Bernardino Valley Municipal Water District (Muni) owns an approximate 2.6-acre site contiguous to the Plan area along Greenspot Road. If the Muni property is included in the Plan area then only Planning Area 4 of the Plan is affected as described in Chapters 2 and 6 of the Plan. The inclusion of the Muni property in the Plan is referred to as Scenario 2.

Mediterra takes a natural place among the current surroundings and the evolving vision of the East Highlands area. To the west of Mediterra the East Highlands Ranch and other residential neighborhoods have set the tone for the high quality the City of Highland demands. Local retail and services have been established along Greenspot Road with anchor tenants and small businesses providing opportunity for local shopping and daily services. Recently, the Golden Triangle area has evolved into an attractive larger retail and service amenity with the potential for additional opportunities to meet the needs of existing and future residents. Non-residential uses also include several elementary and middle schools, the Aurantia Park, and the Saint John Bosco Church, all within two miles of Mediterra. Central Park, the Jerry Lewis Community Center, and the Sam J. Racadio Library are located on 5th Street and Central Avenue, west of the 210 Freeway. Open space is prominent with surrounding natural hillside and Citywide Multi-Use Trails, providing hiking, biking, and equestrian opportunities.



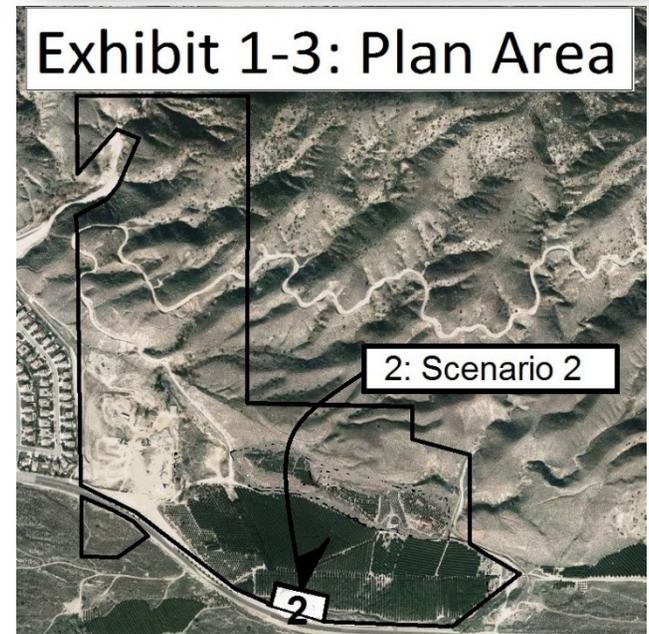
Residential neighborhoods in the East Highlands Ranch, the Sam Racadio Library on 5th Street west of the 210 Freeway, and Retail and Services along Greenspot Road



1-3: Surrounding Uses

Immediately to the west of Mediterra are residential neighborhoods with conventional single-family housing products. To the north is the San Bernardino National Forest and natural undeveloped land under various ownerships. To the south-west is a vacant property owned by the San Bernardino Valley Water Conservation District. To the south of the Plan area and Greenspot Road are vacant properties, the headquarters of the East Valley Water District, and the Santa Ana River. To the east is the remainder of the property that houses the Mediterra Plan, currently dedicated to citrus farming and related activities. The surrounding land use designations are shown on Exhibit 1-4.

Exhibit 1-3 shows the approximate limits of the Plan area, encompassing all of the land uses of open space, residential, and recreational. One parcel contiguous to the Plan area is not a part of the Plan and will retain its current land use designation of Agricultural / Equestrian. This parcel is privately owned and is approximately 1.6 acres with a residence and ancillary structures. The vacant parcel along the frontage with Greenspot Road is approximately 2.6 acres in gross area (1.92 acres after Greenspot Road right-of-day dedication) and is owned by Muni. The inclusion of the Muni parcel in the Plan is referred to as Scenario 2.



1-4: Relationship to the General Plan

A General Plan Amendment (“GPA”) has been adopted concurrently with the approval of the Mediterra Planned Development Plan to change the Plan area land use from Agriculture/Equestrian Residential (0-2.0 du/ac) (Exhibit 1-4: Existing Land Use Designation) to Planned Development.

The City’s General Plan deems the Agriculture/Equestrian Residential designation (“A/Eq”) as “*appropriate for rural and equestrian-oriented residential development*” and is intended to permit the “*keeping of large animals...*”, a condition well-fitting of rural and agricultural land. The A/Eq designation applies to the entire Plan area, independent of topography or other physical conditions, with a maximum of 2 residential units per gross acre. Given the steep natural topography of a large portion of the land, such designation would yield significant environmental impacts and alterations to the mountain backdrop of the community with mass grading and infrastructure, loss of natural resources, and on-going use impacts. These impacts would also be in conflict with numerous goals and objectives of the City’s General Plan.

Of significant importance to the City of Highland is the implementation of General Plan policies to achieve goals and objectives that advance the City’s vision for a healthy and diverse residential community with amenities, infrastructure, and services that support the current and future residents of the City. The implementation of the A/Eq land use over the entire property would undermine or diminish several of the City’s General Plan objectives for the community.

The City of Highland General Plan articulates a number of community values and desires that serve as a foundation for the Land Use Element and the Land Use Plan. The General Plan states the following Land Use Element objectives:

- *Plan for future growth;*
- *Provide clarity in land use guidance;*
- *Maintain a mix of development with urban, suburban and rural character;*
- *Create places for people to live, shop, work, learn and recreate;*
- *Protect and enhance Highland’s neighborhoods;*
- *Provide new housing opportunities;*
- *Strengthen commercial opportunities;*
- *Expand the employment base;*
- *Ensure land use compatibility; and*
- *Preserve natural resources.*



Exhibit 1-4 : Existing Land Use Designations



LEGEND

Mediterra Plan

-  Agriculture / Equestrian (0 - 2.0 du/ac)
-  Scenario 2

Surrounding

-  Agriculture / Equestrian (0 - 2.0 du/ac)
-  Planned Development (PD)
-  Low Density (2.1 - 6.0 du/ac)
-  Public Institutional
-  Open Space (OS)



The expansion of the City limits with the annexation of the area of the Harmony Specific Plan and the evolving City vision for the easterly stretch of the Greenspot Corridor have created new growth and buildout dynamics for this portion of East Highlands including the Mediterra Plan area. This makes the Plan area more suitable for residential neighborhoods under a Planned Development Plan to achieve the City of Highland's General Plan goals and objectives.

For larger properties which are under a single or limited number of ownerships the City's preferred approach is that of Planned Development. The property that includes the Mediterra Plan area is one of the largest areas of contiguous land with development potential in the City of Highland. As such, the Planned Development Plan is the appropriate manner with which to plan the development potential of this property consistent with the City's preferred approach.

For the above and other reasons discussed in the Plan a General Plan Amendment (GPA) and a Zone Change (ZC) have been adopted concurrently with the approval of the Mediterra Planned Development Plan (Plan) to change the Plan area from Agriculture / Equestrian Residential (0-2 du/ac) to Planned Development with specific land use designations for the different portions of the Plan area. As detailed in the Plan, the change to Planned Development provides many advantages and implements a host of General Plan policies and goals relating to the housing element, open space preservation, recreation, public services, and others. Also approved with the GPA, ZC, and the Plan is Tentative Tract Map 18893 (TTM) which shows detailed layout, size and dimensions of lots, vehicular and pedestrian circulation, park and recreation, trails, and other site planning aspects. The TTM shows details of the conventional lots in Planning Areas 1, 2, and 3 described in later chapters of the Plan, and sets aside 2 separate parcels for future site planning of Medium Density residential products.

The Mediterra Plan, with the new land use designations detailed in Chapter 2: Land Use Plan, serves as the tool for the compliance with and implementation of these goals and objectives, emphasizing unique planning features, land uses, circulation, urban design, and infrastructure, resulting in the development of a planned community that is cohesive, functional, and aesthetically pleasant.

Permitted land uses for each Planning Area or portion of the Plan area are illustrated in Exhibit 2-1 of Chapter 2 of the Plan. Development Standards and design guidelines for each Planning Area are also provided in the Plan. Table 2-1 shows the Land Uses prior to and after the adoption of the Mediterra Planned Development Plan.

Chapter 10 of the Plan articulates in detail the consistency of the Mediterra Planned Development Plan with the goals and objectives of the different elements of the City of Highland General Plan.



Chapter 2: Land Use Plan

The City’s General Plan Land Use Element identifies Planned Development Designations as excellent opportunities to “*Create places for residents to live, shop, work, learn, recreate and get to know one another*”.

The Mediterra Planned Development Plan meets various goals and objectives of the General Plan and supports the viability of the other goals and objectives. Some of the advantages provided by the Planned Development designation include:

- The clustering of residential units in more suitable areas of the property for residential neighborhoods.
- The lessening of potential environmental impacts by the preservation of open space in perpetuity and the avoidance of disturbance of hillside and minimization of wild fire exposure.
- The provision for attainable housing with family-oriented neighborhoods and amenities under a Planned Development setting.



Protected Open Space surrounding residential Neighborhoods in the Planned Development of the East Highlands Ranch

The Mediterra plan provides specific land uses for the different areas of the Plan as outlined in this chapter. The designated land uses take into consideration the constraints and opportunities of the different areas of the plan. All uses within the Mediterra Plan are compatible with each other and with their surroundings. While the below descriptions focus on the main uses of each area of the Plan, other permitted uses include any needed infrastructure improvements identified in the course of the final engineering or which may be required by the governing agencies and utility providers, such as utility vaults, water pressure reduction or booster equipment, etc. Exhibit 2-1: Land Use Plan shows the various land uses adopted in the various Planning Areas of the Plan; that information is also detailed in Table 2-1: Summary of Land Uses for the Plan Area. The Plan is divided into 8 Planning Areas as shown in Exhibit 2-2: Planning Areas. Exhibit 2-3: Mediterra Site Plan depicts the implementation of the land uses across the community. Table 2-2: Plan Areas and Land Uses, provides information on Planning Area sizes, number of units, densities, and allowable uses.



2-1: Components of the Land Use Plan

2-1.a: Low Density residential – LD (2.1 – 6.0 du/ac)

This is a conventional residential product with a variety of lot sizes. This category applies to the large majority of the residential areas, specifically to Planning Areas 1, 2, and 3. The community design incorporates different elements of open space, recreation, and pedestrian functions within the various neighborhoods. These areas are discussed in more detail in Section 2-2: Residential Planning Areas of this chapter. Tentative Tract Map 18893 also details the different neighborhood elements, vehicular and pedestrian circulation, lot dimensions and entry points.

2-1.b: Medium Density residential – MD (4.0 – 12.0 du/ac)

This category applies to Planning Area 4 of the Land Use Plan (PA 4). The City of Highland General Plan defines Medium Density residential with a range of 6.1 to 12.0 dwelling units per acre. The plan limits the maximum number of units in PA 4 to 109 for an actual density of approximately 11 units per acre. Under Scenario 2 the Muni parcel is included in PA 4 while the maximum number of allowed residential units is maintained at 109, yielding a density of 9.3 units per acre. The site planning for this area will be dictated by the specific residential product to be chosen by the homebuilder. That includes the planning of private and common open spaces, unit configurations and plotting, and vehicular and pedestrian circulation to name a few.

The allowed uses in the Medium Density residential land use include:

- Single-family detached
- Single-family attached (duplex, triplex, fourplex, etc.)
- 2 or more dwellings per parcel
- Senior independent living
- Day nurseries, nursery schools, child care facilities per state law more than 14 children
- Home Based Businesses (subject to the provisions of HMC 16.44.140, and the issuance of a home based business permit)
- Recreational vehicle storage yard (ancillary to main use)
- Other accessory uses and structures



2-1.c: Agriculture / Equestrian – A/Eq (0 – 2.0 du/ac)

Planning Area 5 on Exhibit 2-1: Land Use Plan preserves the A/Eq land use for this approximate 13-acre portion. The current use in this area is for an existing estate residence surrounded by citrus groves. Preservation of the A/Eq designation is a testimony to this area’s compatibility with the other areas and uses of the Plan and its surroundings. The A/Eq land use will supplement the other uses and add a welcome diversity to the community. Implementation of the maximum allowable density of 2.0 du/ac per the City General Plan could yield up to 26 residential units for this area. Staying consistent with the Plan’s theme and intent of least invasive yet diverse development, the potential number of residential units allowed by the Plan for this area is limited to 6 future estate lots including the existing estate residence. The gross average area is approximately 2.17 acres per lot.

Access to PA 5 is preserved through a new cul-de-sac and a frontage road which also provides access for emergency services responders and for trail users (Street R and Street L respectively as shown on TTM 18893). The Plan’s role for this area is limited to the following objectives:

1. Maintain the A/Eq designation for the area.
2. Provide logical boundaries with flexibility for defining the Open Space to the north.
3. Limit the number of lots to 6 including the exiting residence.
4. Address the interface with the other Plan areas including access and transition to the hillside.

The Plan does not include design standards and guidelines for Planning Area 5. This area will require its own site planning, approval process, and building permits in accordance with the A/Eq designation if residential development is implemented in the future.

2-1.d: Parks and Recreation

The Plan makes it a priority to accommodate local recreational opportunities, encouraging pedestrian mobility, exercise, and inter-connectivity. The Recreational elements of the community include Mediterra Park of approximately 2.16 acres in Planning Area 6, with a variety of functional and desirable amenities. That includes recreational and gathering opportunities such as open grass play area, tot lot, picnic areas, and a fenced recreation area with a swimming pool, restroom building and other facilities. Exhibit 8-4 illustrates a conceptual Mediterra Park design. Chapter 8: Open Space and Recreational Uses discusses in detail the Mediterra Park and the other recreational elements of the community.



The Plan also allocates space for a pocket park (Pine Park) as another draw for community residents to the outdoors and to the variety of recreational uses.

The Mediterra Plan also accommodates a host of pedestrian opportunities across the community with local Paseos, Multi-Use Trails, and access to the Hillside Trail for a wide range of outdoor uses and experiences. These recreational opportunities are discussed in detail in Chapter 3: Circulation, and Chapter 8: Open Space and Recreational Uses.

2-1.e: Open Space

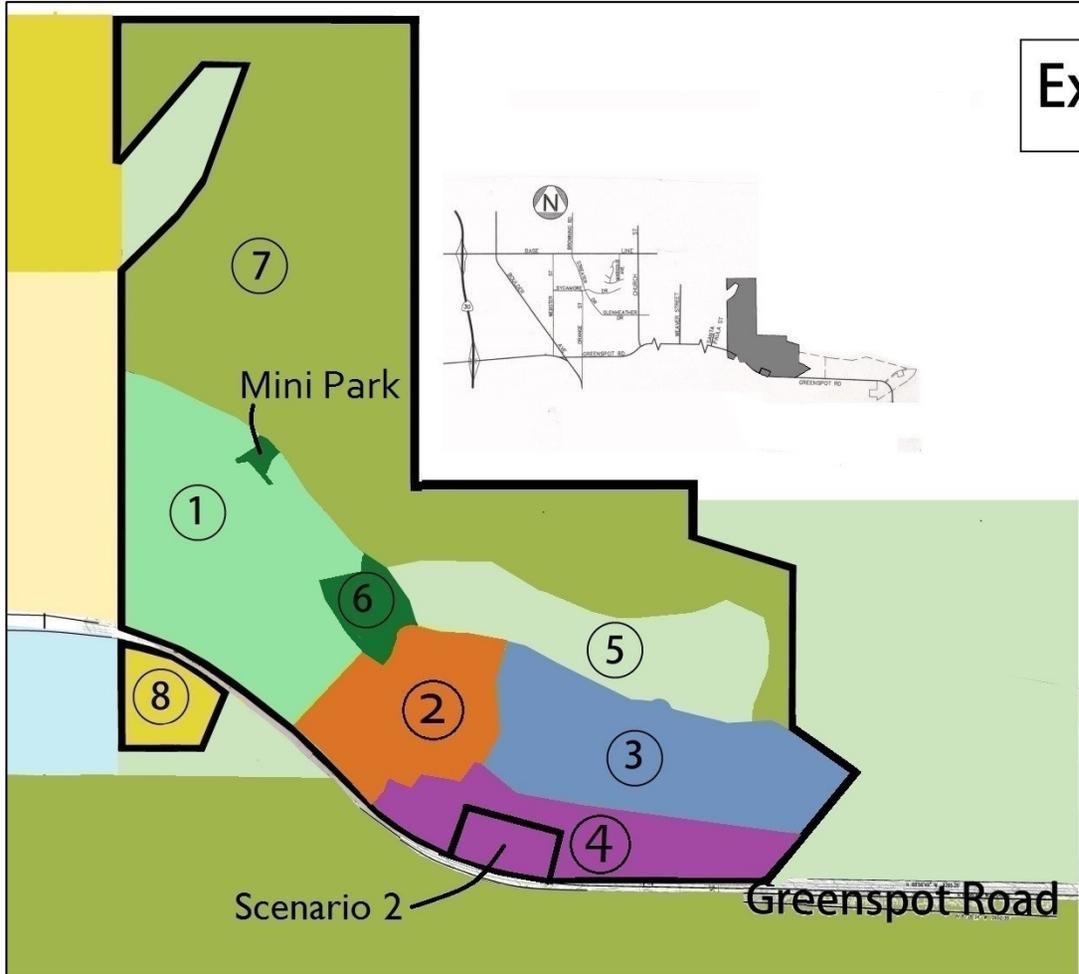
This use is designated as Planning Area 7 on Exhibit 2-1: Land Use Plan. A large portion of the property is designated as preservation of open space in perpetuity as a valuable backdrop of the community. Open Space areas serve the community from an aesthetics stand point, preserving the hills and ridges that give Highland much of its character and sense of place. The Open Space areas can also provide a great opportunity for equestrian riding, hiking, and spectacular views of the valley. This is an enhancement to the equestrian use in the City as the trails will be available for enjoyment by the general public. Other typical allowable uses under the Open Space designation include some improvements to serve the needs of the Mediterra community and the East Highlands area in general. Such improvements may include a water reservoir, access roads, drainage improvements, trail links and safety fencing. These allowable uses are typically initiated or requested by a public agency, with a justification for the needed improvement for community benefit. Exhibit 2-2 shows the approximate limits of the Open Space areas in the Mediterra Plan.

2-1.f: Planned Development / Public Facilities

This Planning Area includes the Water Quality Management Plan Basin located on the south side of Greenspot Road (Planning Area 8 on Exhibit 2-1: Land Use Plan). This area is dedicated mainly to the treatment of storm water runoff from the development area. It will also be designed to be aesthetically compatible with its surroundings with native boulders and vegetation where necessary and with access and safety fencing if and where deemed necessary. The community's final engineering plans will address in detail the final limits, design, and location adjustments of this facility and will be subject to approval by the City of Highland. Tentative Tract Map 18893 and Exhibit 2-2 show the location of the approved Conceptual WQMP Basin. This area is designated as Planned Development to allow flexibility in uses and in introducing other infrastructure facilities or improvements that may be required for the development of Mediterra or the surrounding areas of East Highlands.



Exhibit 2-1: Land Use Plan



LEGEND

Mediterra Plan

- ① PA 1 - SFD1 Low Density - LD (2.1 - 6.0 du/ac)
- ② PA 2 - SDF2 Low Density - LD (2.1 - 6.0 du/ac)
- ③ PA 3 - SFD3 Low Density - LD (2.1 - 6.0 du/ac)
- ④ PA 4 - Medium Density - MD (4.0 - 12.0 du/ac)
- ⑤ Agriculture / Equestrian - A/Eq (0 - 2.0 du/ac)
- ⑥ Park (P)
- ⑦ Open Space (OS)
- ⑧ Planned Development (PD)

Surrounding

- Agriculture / Equestrian (0 - 2.0 du/ac)
- Planned Development (PD)
- Low Density (2.1 - 6.0 du/ac)
- Public Institutional
- Open Space (OS)

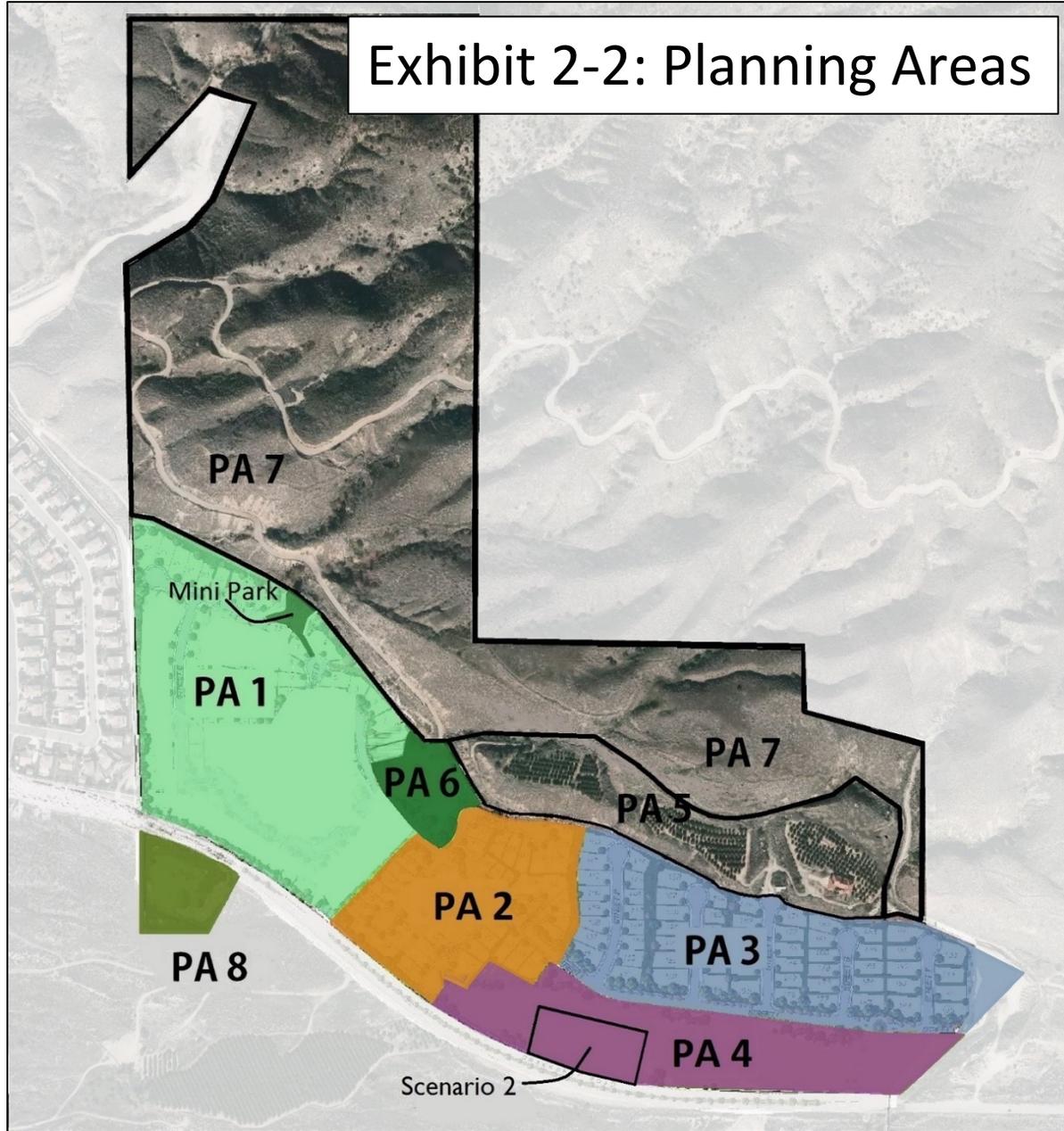


Table 2-1: Summary of Land Uses for the Plan Area

Plan Component	Prior to Adoption of Mediterra Planned Development Plan	After Adoption of Mediterra Planned Development Plan
Planning Area 1	Agriculture / Equestrian	Low Density residential – LD (2.1-6.0 du/ac) - Single Family Detached
Planning Area 2	Agriculture / Equestrian	Low Density residential – LD (2.1-6.0 du/ac) - Single Family Detached
Planning Area 3	Agriculture / Equestrian	Low Density residential – LD (2.1-6.0 du/ac) - Single Family Detached
Planning Area 4	Agriculture / Equestrian	Planned Unit Development - Medium Density – MD (4.0-12.0 du/ac) (including uses referenced in Section 2-1.b)
Planning Area 5	Agriculture / Equestrian	Agriculture / Equestrian – A/Eq (0-2.0 du/ac)
Planning Area 6	Agriculture / Equestrian	Active Recreational
Planning Area 7	Agriculture / Equestrian	Open Space / Passive Recreational / Other
Planning Area 8	Agriculture / Equestrian	Planned Development / Public Facilities / WQMP Basin



Exhibit 2-2: Planning Areas



2-2: Planning Areas

2-2.a: Planning Area 1

The westerly neighborhood of the community follows the SFD1 standards of the Low Density Residential use designation as set in Chapter 6: Design Objectives and Guidelines. The main access to the neighborhood is through Mediterra Parkway, the main gateway into the community from Greenspot Road leading to Avenida Ramblas and Mediterra Park. To the north, intersecting a Pocket Park, is a Multi-Use Trail that links to the trail-system and the other amenities of the community. This neighborhood provides opportunity for move-up homebuyers and growing families with a range of lot sizes and shapes, and close proximity to recreational and social amenities. As shown on Tentative Tract Map 18893 the area of PA 1 is approximately 25.8 acres; the total number of lots is 98 (including one lot at an existing residence), yielding a density of approximately 3.8 lots per acre. The minimum lot size is 6,500 sf with an average lot size of approximately 8,400 sf.

2-2.b: Planning Area 2

This neighborhood follows the SFD2 standards of the Low Density Residential designation as set in Chapter 6: Design Objectives and Guidelines. The lots are designed to encourage recessed garages and architecture forward, enhancing the street scene and the overall neighborhood feel. This area takes access from Greenspot Road through Mediterra Parkway leading to Avenida Ramblas, the interior collector street. This area is surrounded by the Agricultural / Equestrian land use to the north, the other neighborhoods on the west (PA 1) and east (PA's 3 and 4), and the frontage with Greenspot Road to the south. Mediterra Park is located at the north-westerly edge with visibility and ease of access to the park, to the North Fork Trail, and to the Hillside trails. As shown on Tentative Tract Map 18893 the area of PA 2 is approximately 11.9 acres; the number of lots is 51, yielding a density of approximately 4.3 lots per acre. The minimum lot size is 5,500 sf with an average of approximately 7,000 sf.



2-2.c: Planning Area 3

The natural topography rises in this Planning Area to the north with spectacular views of the valley below. This provides a great opportunity for larger lots and homes for move-up homebuyers. This neighborhood follows the SFD3 design standards of the Low Density Residential land use designation as set in Chapter 6: Design Objectives and Guidelines.

Surrounding this neighborhood is the A/Eq area to the north with an existing estate residence and hillside open space to the north, the other neighborhoods to the west (PA 2) and to the south (PA 4), and a vacant property to the east. The neighborhood is composed of a series of cul-de-sacs, some of which give vehicular access to the existing estate lot to the north, the fire department in case of emergency, and to the North Fork Trail. Along the southerly edge of this area are the interior collector street Avenida Ramblas and the Paseo Ramblas which connect the different neighborhoods by vehicular and pedestrian means.

As shown on Tentative Tract Map 18893 the area of PA 3 is approximately 20.3 acres; the total number of lots is 62, yielding a density of approximately 3.05 lots per acre. The minimum lot size is 7,200 sf and the average lot size is approximately 9,500 sf.



2-2.d: Planning Area 4

PA 4 consists of Medium Density product creating opportunities for homeownership by starting families or empty nesters. This Planning Area requires a site planning approach specific to the residential product to be proposed by the home builder. The site plan shall adhere to the Mediterra Plan's intent and theme of connected and walkable community, and shall incorporate among others the following planning principles:

1. Provide a housing product that distinguishes but is complementary to the other planning areas and accommodates a higher density and a wider opportunity for home ownership.
2. Preserve the functionality and traffic calming qualities of Avenida Ramblas and the desirability of and accessibility to Paseo Ramblas for pedestrian mobility. Vehicular connection to Avenida Ramblas shall be limited to local internal streets only; garage access to residential units shall be oriented to the internal streets of this Planning Area.
3. Capitalize on common uses and open spaces provided by the Plan, such as the Mediterra Park and recreation area, Paseo, and trails. Enhance pedestrian opportunity for access to and connectivity with the community's amenities and other neighborhoods.

General design standards for Medium Density are set in Chapter 6: Design Objectives and Guidelines. The area of PA 4 is approximately 9.2 acres and the total number of units is 99; under Scenario 2 the area is increased by a net of 1.92 acres for a total of 11.1 acres while maintaining the maximum number of residential units at 99.



2-2.e: Planning Area 5

PA 5 is approximately 13-acres and has the A/Eq land use with a maximum of 6 estate lots including the existing estate residence, yielding a maximum density of 0.46 dwelling units per acre. Access to PA 5 is preserved through a new cul-de-sac and a frontage road along the northerly edges of PA 2 and 3 (Street R and Street L respectively as shown on TTM 18893). The Plan does not include design standards and guidelines for Planning Area 5. This area will require separate site planning, approval process, and building permits in accordance with the A/Eq designation if residential development is implemented in the future. The site planning of the estate lots will include reciprocal easements for access, utilities, storm water treatment, drainage, and other common interests for the construction stage and for on-going maintenance and uses. Individual utility stubs will be provided to all estate lots.

2-2.f: Planning Area 6

PA 6 is approximately 2.1 acres and is designated for a neighborhood park with recreational area, exercise, and gathering opportunities for the community residents; the neighborhood park is referred to as Mediterra Park in the Plan. Section 2-1.d: Parks and Recreation gives a general description of this component of the Land Use Plan, and Chapter 8: Open Space and Recreational Uses details the improvements planned for this Planning Area.

2-2.g: Planning Area 7

As described in Section 2-1.e PA 7 is mostly preserved in its current condition with limited uses and access as Open Space and as a backdrop of the community with hiking on trails and other permitted outdoor activities.

2-2.h: Planning Area 8

The main intent of this PA is to include the Water Quality Management Plan Basin for the entire Mediterra community and for implementation of needed measures for the containment and treatment of storm water runoff from Mediterra. As described in Section 2-1.f other infrastructure facilities may be allowed in that area for the benefit of Mediterra or the East Highlands area as may be required by the City of Highland or other agencies.



Table 2-2: Planning Areas and Land Uses

Plan Component	Acreage	No. of Lots / Units	Density Target (du/ac)	Min. Lot Size	Permitted Land Uses
Planning Area 1	25.8	98	3.8	6,500 sq.ft	Low Density Residential (2.1 - 6.0 du/ac) - Single Family Detached – SFD 1 / Recreation / Support Improvements
Planning Area 2	11.9	51	4.5	5,500 sq.ft	Low Density Residential (2.1 - 6.0 du/ac) - Single Family Detached – SFD 2 / Recreation / Support Improvements
Planning Area 3	20.3	62	3.1	7,200 sq.ft	Low Density Residential (2.1 - 6.0 du/ac) - Single Family Detached – SFD 3/ Recreation / Support Improvements
Planning Area 4	9.2 (11.1)*	99	6.1 - 12.0	N/A	Medium Density – MD (4.0 - 12.0 du/ac) / Recreation / Support Improvements and Infrastructure
Planning Area 5	13.0	6	0.5	1.0 ac	Agriculture / Equestrian - A/Eq (0-2.0 du/ac)
Planning Area 6	2.1	N/A	N/A	N/A	Park and Recreation
Planning Area 7	94.6	N/A	N/A	N/A	Open space / Passive Recreation / Public Facilities
Planning Area 8	3.4	N/A	N/A	N/A	PD / Public Facilities / Water Quality Management and Compatible Uses

Total: 180.3 316

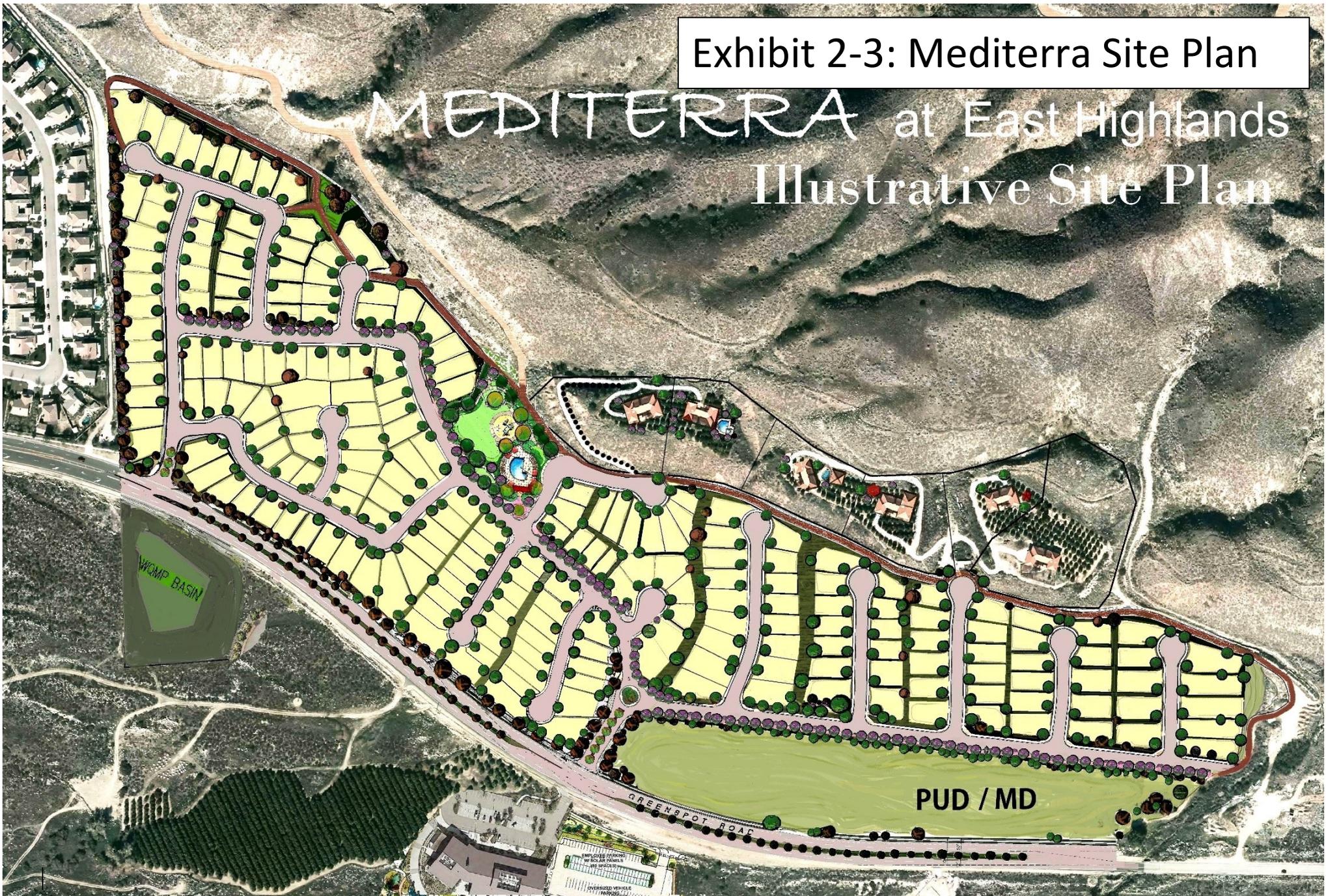
(182.2)* including the net 1.92-acre Muni site per Scenario 2 after Greenspot Road right-of-way dedication.

Unless stated otherwise in the Plan or the approved Tentative Tract Map, the permitted uses shall follow Table 16.16.030.A Uses Permitted within Residential Districts of the City of Highland Municipal Code as applicable.



Exhibit 2-3: Mediterra Site Plan

MEDITERRA at East Highlands
Illustrative Site Plan



Chapter 3: Circulation

3-1: Circulation Goals and Objectives

The Mediterra circulation element relies on City standards established for conventional neighborhoods with adjustments to meet the specific needs of this community and to enhance vehicular and pedestrian mobility. The main principles behind the circulation system design in the Mediterra Plan are:

- Create and adopt street designs that are better suited for the specific needs of this Planned Development community and for specific conditions within the neighborhoods.
- Plan and design for safe maneuvering of vehicles; avoid long stretches of streets that may be inviting for speed and compromise the safety of local residents. Provide limited undulation or traffic calming features of through streets.
- Accommodate easy circulation from different reaches of the community to social amenities and other destinations.
- Avoid segregation of the different neighborhoods from each other. Provide an internal circulation pattern that is open and connective with minimal obstacles and interruptions.
- Provide design elements that promote traffic calming where appropriate.
- Design cul-de-sacs in a manner that does not interrupt or mislead traffic; place cul-de-sacs where they become an asset to the community with the privacy and safety they can provide to local residents.
- Provide controlled ingress and egress from the community to adjacent main transportation elements with adequate access for emergency response vehicles, fire protection, and law enforcement.
- Provide opportunities for pedestrian circulation with safe and attractive links, paseos, and trails the community residents can easily access.

The intent is to strike a comfortable balance between the quiet suburban neighborhood and the advantages of well-tested and functional urban features.



The Mediterra Plan includes various improvements that provide adequate vehicular circulation within the community as well as connection to surrounding streets. Traffic calming measures are incorporated into the design for the safety of drivers and pedestrians while maintaining continuous and uninterrupted flow. Following are some of the features which are included in the Mediterra Plan to ensure implementation of the above principles and achievement of the circulation goals and objectives:

1. The Plan creates and adopts street designs that are better fit for this community's needs and can better serve its overall design while preserving the engineering and safety standards that should not be compromised.
2. Local streets, with a 50-foot right-of-way and adequate front yard setbacks, can promote an intimate neighborhood feel and safer driving speed.
3. Short local street segments are used in conjunction with a looped collector pattern for an efficient overall circulation system.
4. Select parkways are specifically designed for wider sidewalks and landscaping for encouragement of pedestrian use.
5. Chicanes are strategically placed along the internal collector street Avenida Ramblas; these are desirable features for traffic calming and enhanced pedestrian safety. They have been placed at select locations where beneficial for traffic calming and pedestrian crossing.
6. Roundabouts are introduced at the main community entrances, at the intersection of Mediterra Parkway and Terraneo Parkway with the interior collector street Avenida Ramblas.
7. Median separation is used at the main community gateways, Mediterra Parkway and Terraneo Parkway, for visual and safety enhancement.
8. Adequate points of access to Greenspot Road are provided to ensure sufficient ingress and egress for regular traffic and for emergency response.



Raised Landscape Median,
Spanish Walk, Palm Desert, CA



Roundabout, Rosedale,
Azusa, CA



3-2: Vehicular Circulation System

3-2.a: Fronting Arterial – Greenspot Road

The Mediterra Community is adjacent to Greenspot Road, which the General Plan considers as a Major Highway (General Plan Figure 3.1 - Circulation Element). The right-of-way width of Greenspot Road is 104 feet, with a 12-foot parkway, 8-foot Class II Bike Lane, and two travel lanes on each side, divided by a 12-foot raised median. Greenspot Road serves as a critical transportation element for East Highlands giving access to the easterly end of the City, and connecting to the 210 Freeway to the west. Mediterra will provide all of the required improvements as well as the raised median along its frontage with Greenspot Road (Exhibit 3-2).

3-2.b: Community Entrances – Mediterra Parkway and Terraneo Parkway

There are two main entry points to Mediterra from Greenspot Road, Mediterra Parkway and Terraneo Parkway. Both streets are designed with an 80-foot right-of-way, including a 16-foot parkway, a 14-foot travel lane, and a 6-foot bike lane for each side, divided by an 8-foot raised landscaped median (Exhibit 3-2). These streets will have no residential frontage or other interruptions. This unique design will add a distinctive character and sense of arrival to the community. Both Mediterra Parkway and Terraneo Parkway lead to a roundabout at the intersection with Avenida Ramblas forming a complete loop with alternate access options and even traffic distribution throughout the community.



View of existing Greenspot Road, west of Mediterra



Spanish Walk, Palm Desert, CA



3-2.c: Internal Collector – Avenida Ramblas

At the terminus of the two community entrances are roundabouts that connect to Avenida Ramblas which takes over the circulation into the different neighborhoods, traversing the community in an east-west direction. As depicted in Exhibit 3-2, the right-of-way for Avenida Ramblas is typically 60-foot wide, including a 7-foot parkway on one side and a 36-foot paved section. The remainder of the right-of-way is a 17-foot parkway including an 8-foot pedestrian walk and landscape areas. The pedestrian circulation and the recreational functions of the 17-foot parkway are discussed further in Sections 3-3.b and 8-3.c of the Plan.

Avenida Ramblas is designed with minimal lot frontage. This collector street connects to various cul-de-sacs which provide street frontage to residential lots. This internal orientation of residences minimizes driveway access from Avenida Ramblas to individual lots and accommodates safer vehicular movement. Traffic calming measures are also provided along the length of this collector street at different locations with chicanes, pavement width reduction, and roundabouts. The width variations in the right-of-way or paved section accommodate the above special features and other design conditions such as frontage to the Mediterra Park. For specific locations of various cross-sections of Avenida Ramblas see Exhibit 3-2.



Wolf Creek Master Planned Community, Temecula, CA



3-2.d: Local Streets

Local streets have a typical 50-foot right-of-way, a section successfully used in several existing conventional residential neighborhoods in Highland, following a standard of San Bernardino County Transportation Department which the City of Highland adopts. The right-of-way includes the typical 36-foot curb-to-curb paved section with parking on both sides and curb-adjacent sidewalks allowing a hard surface to step onto when exiting a vehicle. The right-of-way line for local streets is 6 inches behind the edge of sidewalk with private ownership beyond. This design advances the Mediterra design standards and the desirable interface of building with the sidewalk for a more intimate and neighborhood-like sense of place. Narrower street right-of-way and reduced building setbacks are a proven combination for calmer traffic and higher sense of neighborhood. Exhibit 3-2 shows a typical local street section.

A variety of local street designs and alignments are incorporated in the plan with frequent use of cul-de-sacs. This is a highly desirable feature in residential neighborhoods for the low traffic volumes and sense of privacy it affords residents. Loops are also made a part of the plan where functional and advantageous. They are also designed in a manner to provide adequate access for emergency response while preserving a level of privacy and safety to the neighborhoods.



3-2.e: Roundabouts

Roundabouts are becoming increasingly more popular for their advantages including continuous yet controlled circulation, speed reduction, and avoidance of stoppage and acceleration. They also play a significant role in enhancing pedestrian movement.

The inscribed diameter of a roundabout is approximately ninety feet, including an 18-foot travel lane on the outer edge. The middle island is landscaped with ground cover, shrubs and trees consistent with the community landscape palette. The final landscaping design shall ensure clear visibility around and across the roundabout for traffic and pedestrian safety. The outer portion of the island is typically improved with decorative pavement and a rolled curb to allow additional room for larger vehicle movement without encroachment into the landscape area.

Two roundabouts are provided in the Mediterra Plan, one at the terminus of Mediterra Parkway and one at Terraneo Parkway, the two main gateways to the community, as they intersect with Avenida Ramblas. The roundabout details at the referenced intersections are shown on Tentative Tract Map 18893 and Exhibit 3-2.



Traffic Calming with a Roundabout at Montserrat, Brea, CA



Roundabout fronting the neighborhood park per TTM 18893



3-2.f: Private Streets

Private streets are often introduced in Medium Density neighborhoods with narrower streets with one-side or no on-street parking. In such cases off-street parking is provided to adequately serve the neighborhood. A homeowner association assumes the maintenance responsibility of private streets and common areas including off-street parking. Private streets may be used in Planning Area 4 only under the Medium Density land use designation. The site plan shall identify the street design for width, parkway, and other typical street-related improvements. The relationship of the local streets to open space areas, residential structures, recreational amenities, etc. shall be adequately addressed in the site planning process and shall be submitted to the City of Highland for approval.

Private streets can have a variety of cross-sections and designs. Yet the most important from a public safety and emergency response perspective is the width of the paved section. The most common private street designs which differ from the typical 36-foot paved width are the 32-foot wide and the 28-foot wide paved widths. The 32-foot wide design allows on-street parking on one side only, while the 28-foot wide design allows no on-street parking. Exhibit 3-2 depicts the paved section of these two designs. Only the paved sections are shown as other improvements are site-specific to Medium Density neighborhoods and should be addressed in the site planning process.

Private streets and driveways may also occur at PA 5 as the A/Eq land use is implemented on 5 proposed estate lots within this area of the Plan. These private streets may have different configurations than described above and will be a part of a site-specific plan inclusive of access, subject to the approval of the City of Highland.

3-2.g: Public Transit

Bus service will be provided by Omnitrans. The current circulation pattern in the East Highlands area brings buses eastbound on Greenspot Road to Church Street where a bus stop is located at the north-east corner of that intersection. The route continues north from the bus stop and makes a westbound turn onto Base Line. Potential expansion of the route has been considered by Omnitrans. It is projected that a bus stop would be possible along the frontage of Mediterra subject to approval by the City of Highland and Omnitrans. Coordination with Omnitrans staff will continue in the future regarding the need for route expansion and future bus stops.

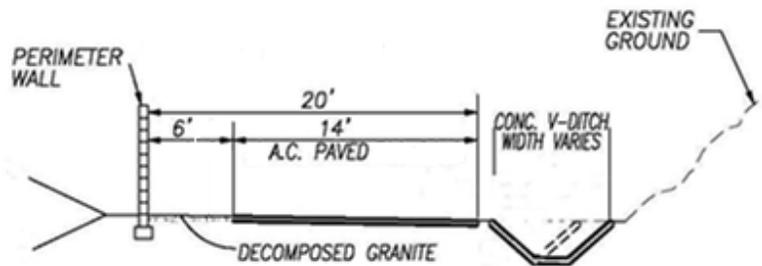


3-2.h: Maintenance Access

A fourteen-foot asphalt pavement and six-foot decomposed granite section along the north edge of the community is provided as a Multi-Use Trail which will be also used for maintenance and can accommodate access for emergencies purposes between the residential neighborhoods and the hillside to the north (see detail below).. Access for maintenance and emergency is provided through connections at the end of cul-de-sacs, such as at Street R, and frontage streets as detailed in TTM 18893. The final details of this circulation component will be determined during the final engineering of the community with input from City Staff and the Fire Department.

The north side of the fire road is adjacent to natural slopes and will have a drainage facility to contain and convey storm water from the hills. The drainage pattern is further described in section 4-1.d1: Drainage of Chapter 4, Infrastructure, Utilities, and Public Services of the Plan. To the south side of the road along the residential lots is a retaining / freestanding block wall that functions as a privacy wall and as a non-combustible fire barrier. Between the paved section and the wall there will be a six-foot section of decomposed granite for equestrian use. The final engineering of the community will address the design of the block wall as well as the allowed openings for access by the Fire Department, maintenance vehicles, and by users of the North Fork Trail.

A permanent emergency-only access is provided in Planning Area 1 between Santa Ana Canyon Road and Greenspot Road. This 20-foot wide access is located at the south-west corner of the community as shown on the TTM 18893 and will be used mainly in case of emergency, but will also be accessible to pedestrians and cyclists.



Detail of the North Fork Trail and Maintenance Access per TTM 18893



Projected condition of the improved North Fork Trail.



Exhibit 3-1: Vehicular Circulation System

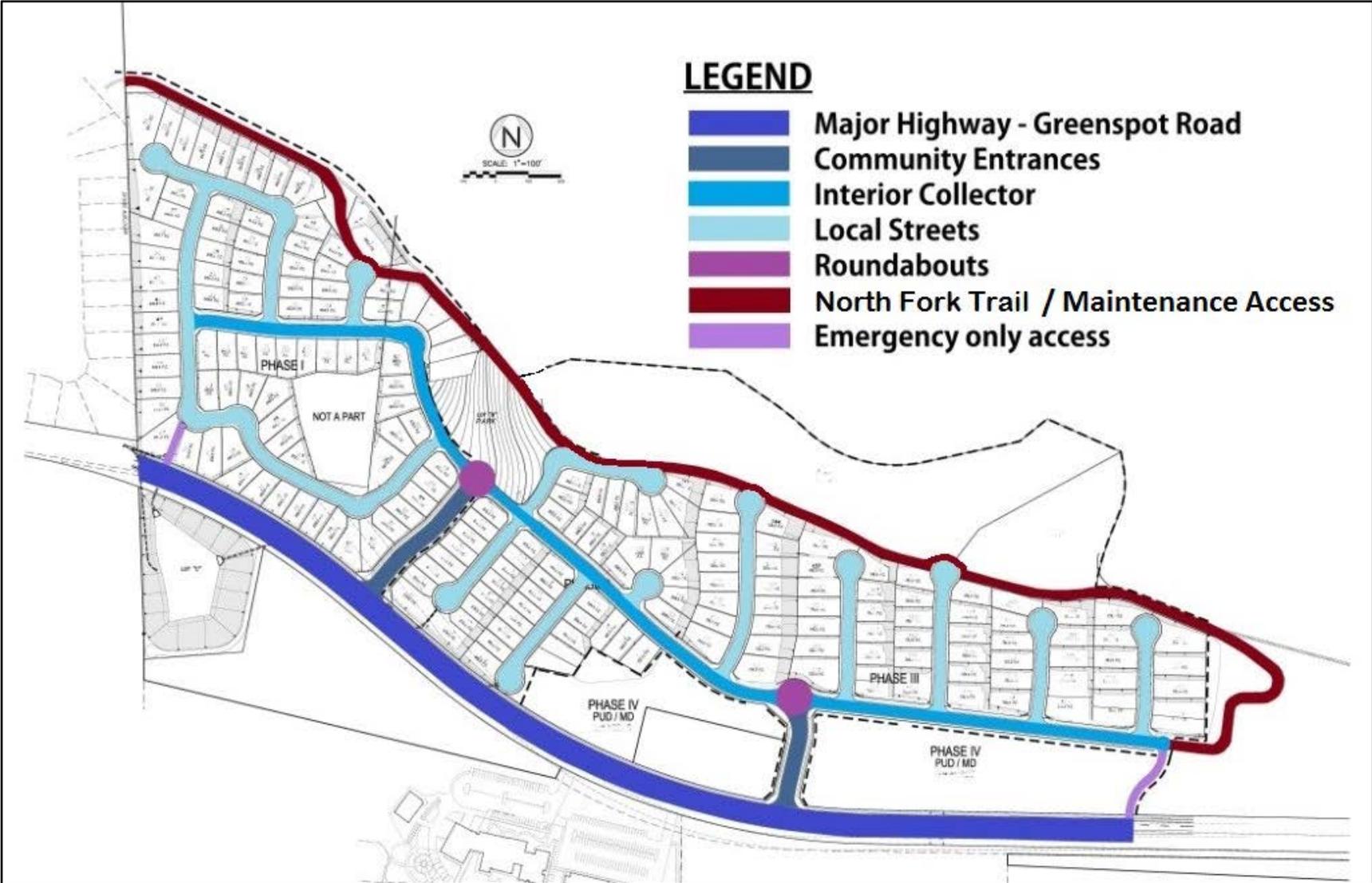
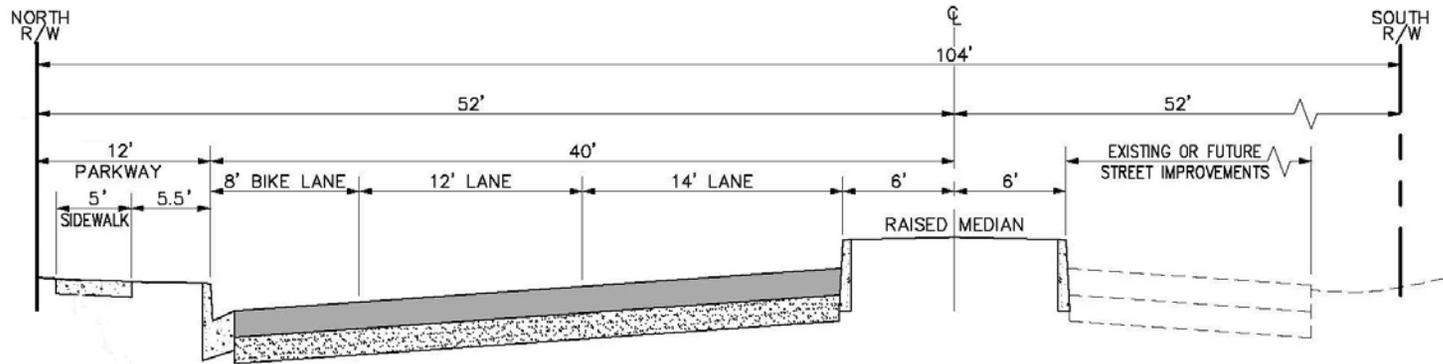
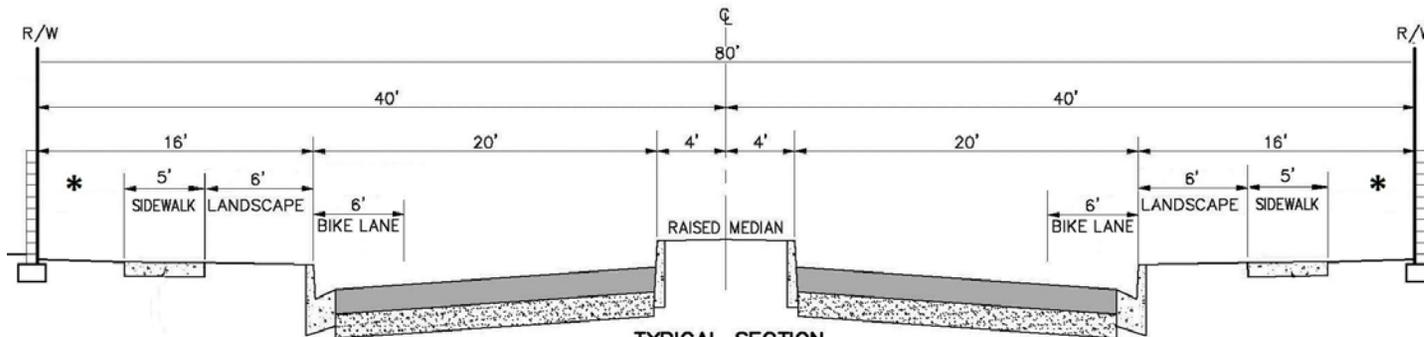


Exhibit 3-2: Street Cross-Sections



TYPICAL SECTION (MAJOR HIGHWAY)
GREENSPOT ROAD



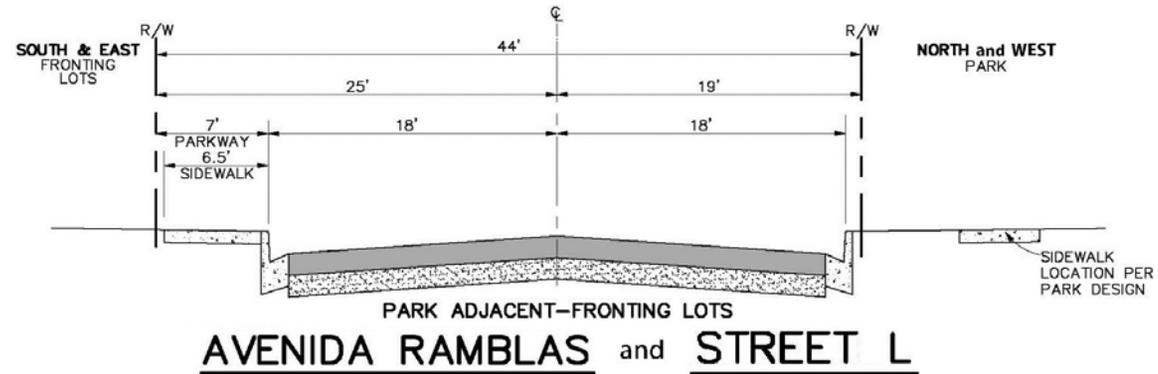
* : RIGHT-OF-WAY WIDTH MAY BE REDUCED AND THIS AREA MAY BE DESIGNATED AS LETTERED LOT

TYPICAL SECTION
MEDITERRA PARKWAY
and
TERRANEO PARKWAY

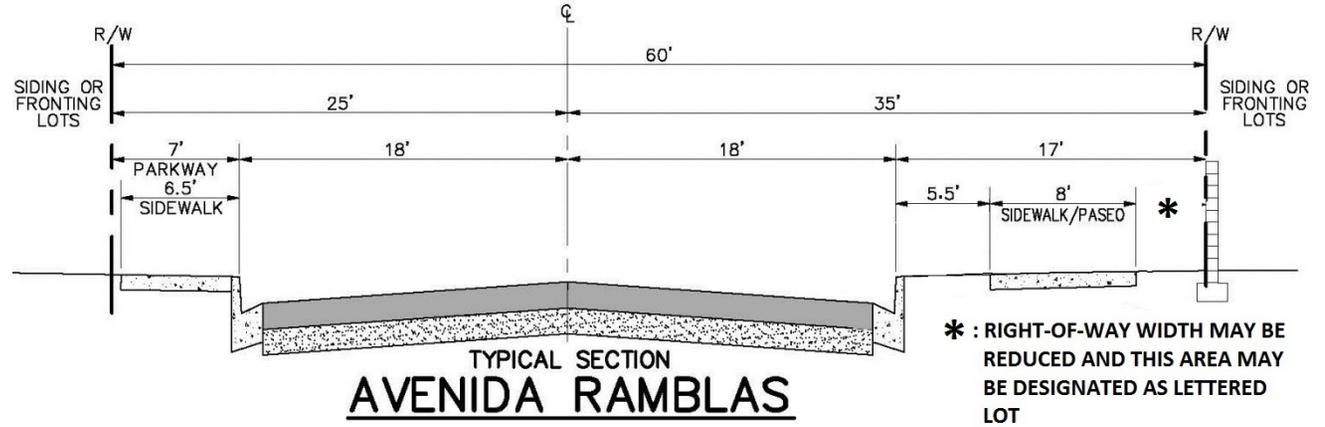


Exhibit 3-2: Street Cross-Sections

**Avenida Ramblas and Street L
Cross-Section A**



**Avenida Ramblas
Cross-Section B**



**Avenida Ramblas
Cross-Section C**

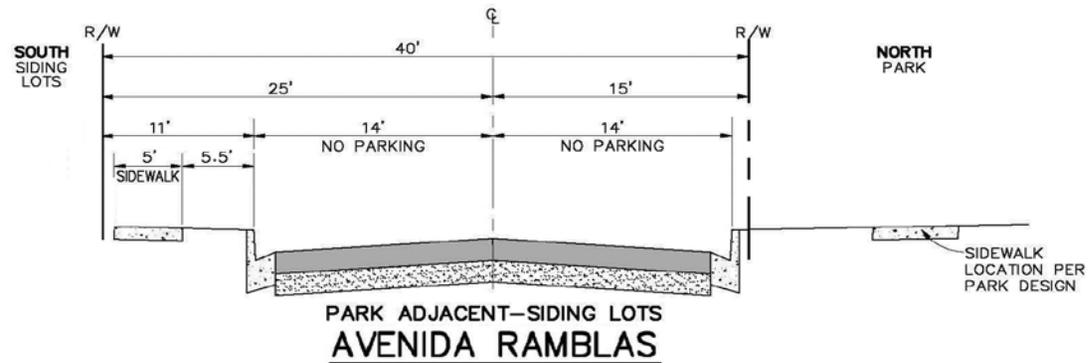
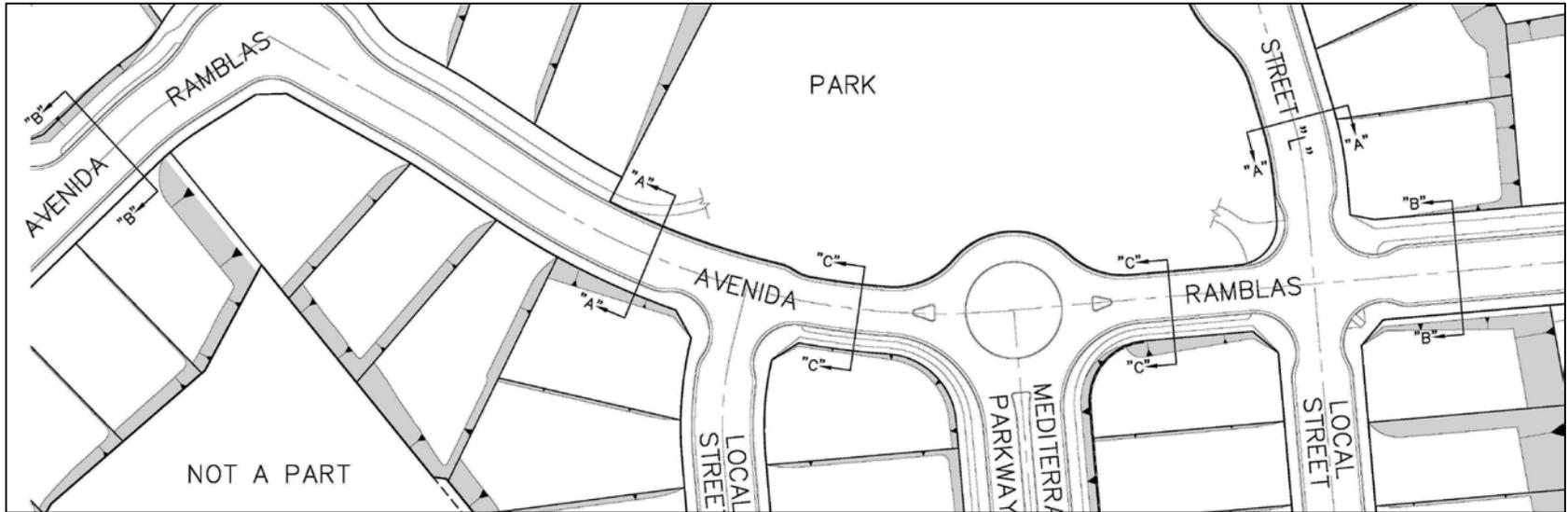
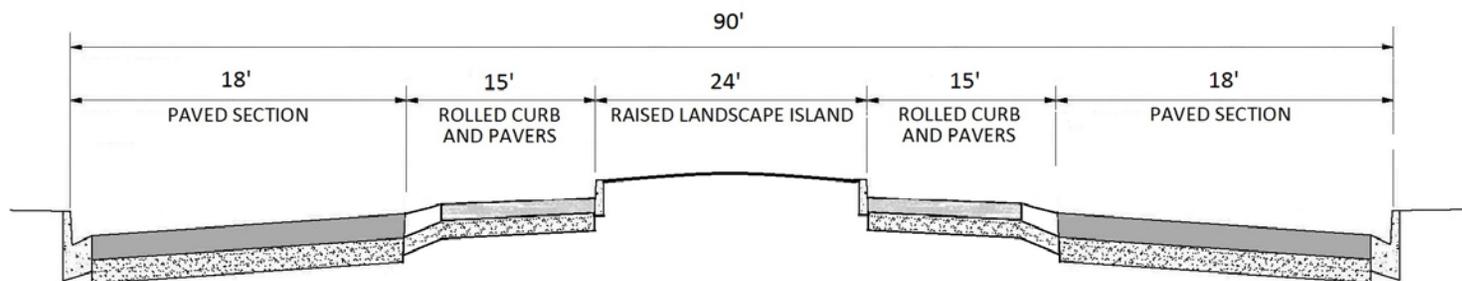


Exhibit 3-2: Street Cross-Sections



Avenida Ramblas and Street L - Cross-Section Locations



ROUNDABOUT

Roundabout dimensions are subject to final engineering.



Exhibit 3-2: Street Cross-Sections

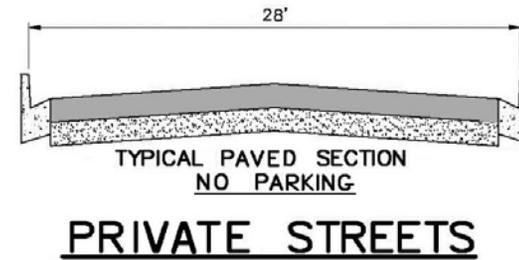
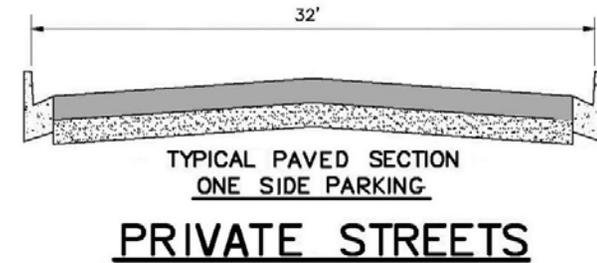
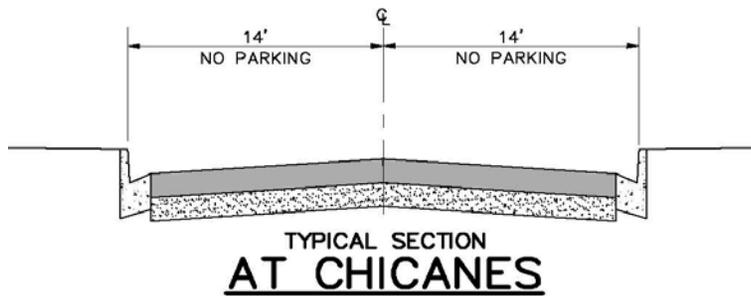
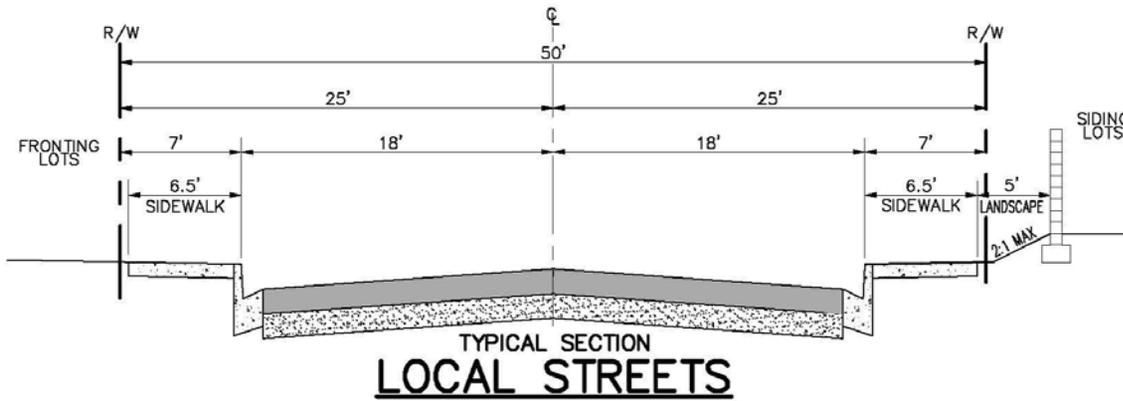
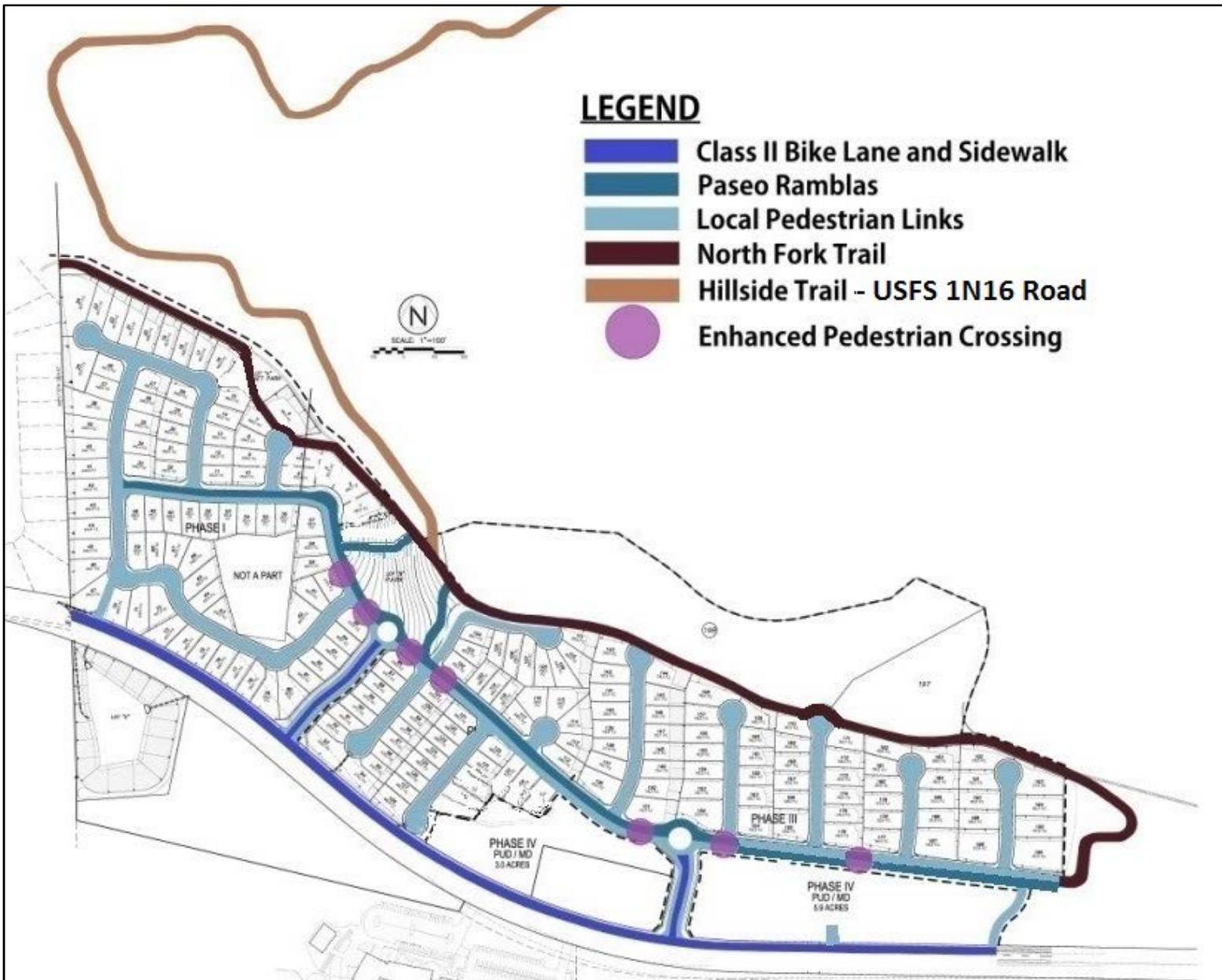


Exhibit 3-3: Bike and Foot Network



3-3: Pedestrian Circulation System - Bike and Foot Network

All streets are designed with sidewalks consistent with the City of Highland standards. That includes a 6-foot sidewalk where adjacent to the curb and a 5-foot sidewalk where separated from the curb as detailed in Exhibit 3-2: Street Cross Sections. This is a typical pedestrian circulation system found in similar residential neighborhoods. Additionally, the Mediterra Plan includes special pedestrian features discussed below.

3-3.a: Sidewalks and Bike Lanes

The City of Highland Circulation Element states that *“The opportunities for acquiring lands for bikeways and recreational resources in Highland are limited; the City will continue to look for new ways to provide more links from surrounding development to existing bikeways.”*

The sidewalk and Class II Bike Lane along Greenspot Road currently terminate at the easterly edge of the existing neighborhood, to the west of Mediterra. The improvements provided by Mediterra will include the sidewalk and Class II Bike Lane along its frontage with Greenspot Road. Additionally, the design of Mediterra Parkway and Terraneo Parkway, the two main entrances into the community, includes a raised median and two 20-foot paved lanes with no direct access or parking. This gives the opportunity to extend the Bike Lanes on both streets between Greenspot Road and the new community. Pedestrian and bike access is also provided along Greenspot Road at the emergency access at the southwest corner of the community, at the end of the cul-de-sac of Street M, and through a future street in PA 4.



End of Sidewalk and Class II Bike lane at Existing Greenspot Road (left) and Artist's perspective of the improved condition (right)



3-3.b: Paseo Ramblas

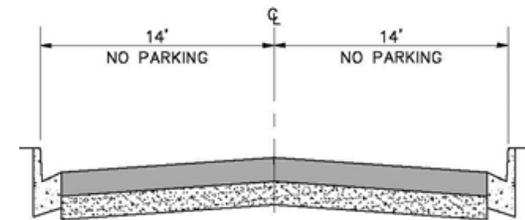
The parkway on one side of Avenida Ramblas has an 8-foot wide sidewalk and landscaping on both sides of the sidewalk. The spaces between the curb and the sidewalk, and the sidewalk and the residential lots will be planted consistent with the community landscape palette. The wide parkway, referred to in the Plan as Paseo Ramblas, is a unique component of the community’s pedestrian circulation element. The Paseo is designed specifically to promote pedestrian mobility and encourage foot movement and access to community destinations. Paseo Ramblas will be central to the overall pedestrian network with connection between the neighborhoods and Mediterra Park and recreation center, other open spaces, and the different trails. This pedestrian circulation component is discussed in Section 8-3.c of the Plan for its recreational and exercise qualities.



3-3.c: Chicanes and Reduced Pavement

Crossing from a residential neighborhood to the Paseo or the Mediterra Park and recreation center is enhanced at select locations such as at the intersection of Avenida Ramblas with Streets K and L. Where the chicanes occur, the paved section of the street is reduced to a 28-foot width to make it a shorter distance for street crossing. This also helps in traffic calming and speed reduction where pedestrian crossing is desired. No on-street parking is allowed along these reduced pavement sections.

The pavement width of Avenida Ramblas is also reduced to travel lanes only on both sides of the roundabouts to emphasize traffic calming. Slowing down traffic at these locations preserves traffic flow while highlighting and raising awareness of the community’s amenities.



TYPICAL SECTION
Street Section at Chicanes



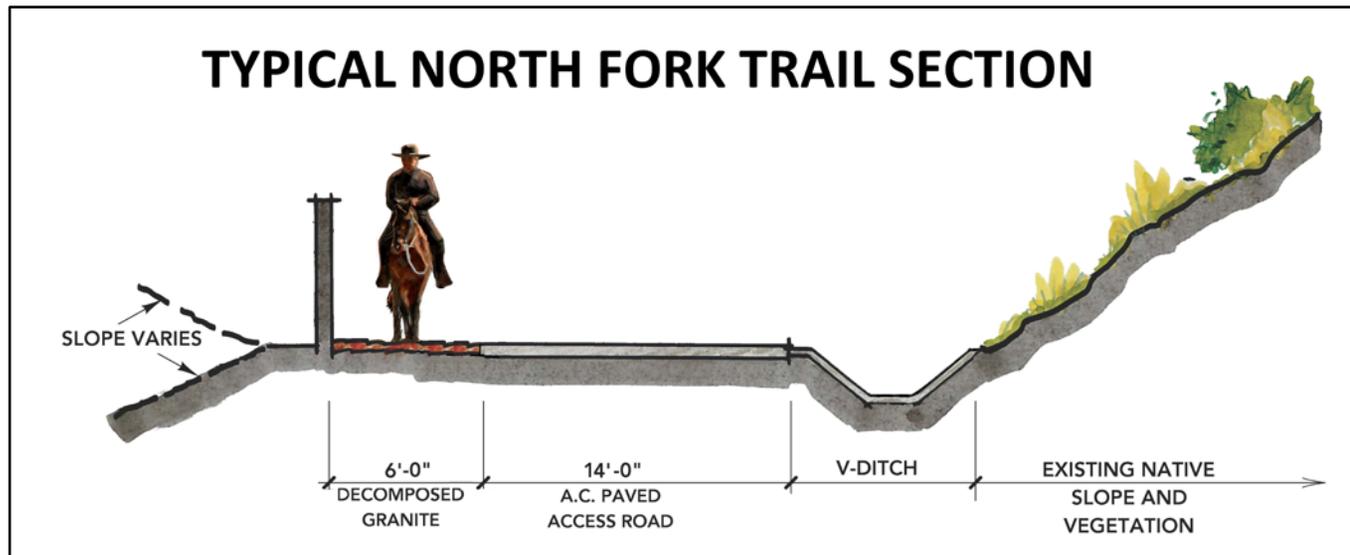
3-3.d: North Fork Trail

This circulation component is discussed in Section 3-2.h and in Section 8-2.a for its recreational and exercise qualities. This circulation feature doubles as a Multi-Use Trail for recreational purposes and as a controlled access for maintenance and in case of emergencies.

The trail runs in an east-west direction along the north edge of the community and connects to cul-de-sacs and other local streets. The Trail will also run on the northerly edge of the Mediterra Park and recreation center and continue to Pine Park in Planning Area 1. The Trail will then link with an existing section to the west of Mediterra leading to the existing neighborhood at San Benito Road. The North Fork Trail is consistent with the alignment of the Multi-Use Trail shown in Exhibit 5-2: Figure 5-6 Multi-Use Trails of the City of Highland's General Plan.



Shelton Trail along Baseline in the East Highlands Ranch



Chapter 4: Infrastructure, Utilities, and Public Services

4-1: Infrastructure

4-1.a: Grading Approach

The Mediterra Plan respects the natural topography of the land and confines the development to the flatter areas of the property while preserving the steeper terrain for open space and agricultural and equestrian use. This approach minimizes the environmental impacts and the mass grading quantity with relatively shallow cuts and fills. The grading concept of the development area is designed to follow the land's natural contours. This concept is shown on Tentative Tract Map 18893, depicting the conceptual pad elevations, street grades, and transitional slopes. The final grading plan shall be designed to balance the grading quantities on-site and minimize import or export of soil.

4-1.b: Water

Domestic water service is provided by the East Valley Water District (EVWD). The local distribution system for the Mediterra Development will be provided through developer funded construction of the local facilities, subject to EVWD approval, inspection, and acceptance. An existing 24-inch water main is located along the frontage of the Mediterra Plan and will be the point of connection for domestic water. All local streets are anticipated to have an extension of the water system with minimum 8-inch main lines to provide adequate domestic service, landscape irrigation, and fire flow. Exhibit 4-1 shows the existing water lines and the extension of main lines within the Mediterra Plan to serve the new community.

4-1.c: Sewer

EVWD is the local agency providing sewer service for the plan area. Currently, off-site treatment and disposal of effluents is the responsibility of the City of San Bernardino, operating through a joint services agreement with EVWD. EVWD recently completed an update to the Sewer Master Plan and has identified ways to increase capacity in the sewer system for the whole



community. The point of connection will be to the existing main line in Greenspot Road along the frontage of Mediterra. The local collection system within the Mediterra Plan is expected to be composed mainly of 8-inch lines and manholes. The internal system will be provided by developer-funded construction, subject to EVWD approval, inspection, and acceptance. Exhibit 4-1 shows the existing and the new extensions of sewer lines within the Mediterra Plan to serve the new community.

4-1.d: Storm Drainage and Water Quality Management

4-1.d1: Drainage

Historically, the majority of the property under the Mediterra Plan drains to the southwest. The Plan has been designed to substantially follow that pattern and drain to existing facilities sized for the needed capacities. Tentative Tract Map 18893 contains details of the drainage pattern and facilities anticipated for the Mediterra development. There are mainly two types of storm water drainage facilities and patterns for the Mediterra Plan. One pattern is for containment of drainage from the natural hillside, and one for drainage from the development area.

The hills to the north of the Mediterra development areas will be preserved in their natural condition. Drainage from these hills will be contained in a mostly open drainage channel designed to capture the direct runoff from the hills. This facility is located at the north side of the paved section of the North Fork Trail, immediately at the bottom of the rising natural slopes. The facilities are designed for 100-year storm events and for debris flows. The drainage from the hillside does not require treatment for Water Quality purposes; for that, the drainage facilities take the discharged storm water directly to existing drainage facilities along Greenspot Road which eventually discharge at the Plunge Creek to the west.

The drainage from the development areas requires treatment of storm water for 2-year storm events. As such a local storm drain system will be constructed within the development areas to contain the storm water discharge from these areas. The whole system leads to a Water Quality Management Plan Basin (“WQMP Basin”) located at the downstream end of the community to the south side of Greenspot Road. All drainage facilities are detailed on Tentative Tract Map 18893 and on Exhibit 4-1.



4-1.d2: Water Quality Management Plan

A Conceptual Water Quality Management Plan (C-WQMP) has been submitted to the City of Highland and conceptually approved in conformance with the “Technical Guidance Document for Water Quality Management Plans” of the Santa Ana Regional Water Quality Board. The plan shows the method for treatment of surface runoff from development areas as well as plans for WQMP Basin location. The final WQMP Basin will be sized on the basis of the latest Water Quality Board criteria, infiltration tests by the soils engineer, and in accordance with the City of Highland standards. Best Management Practices will also follow the procedures described by the San Bernardino County Stormwater Program’s WQMP Technical Guidelines. The WQMP Basin will be maintained by HOA, LMD or maintenance CFD subject to the approval of the City of Highland. The location of the WQMP Basin is shown on Exhibit 4-1 and detailed on Tentative Tract Map 18893.

4-1.d3: Storm Water Pollution Prevention Plan

Temporary treatment of storm water discharge during construction will be addressed with a Storm Water Pollution Prevention Plan (SWPPP) and will be submitted to the City of Highland for approval. The SWPPP will contain the required elements of General Construction Permit No. CAS 000002 (Order No. 99-08-DWQ) issued by the State Water Resources Control Board. The purpose and objective of the SWPPP is to:

- Identify all pollutant sources including sources of sediment that may affect the quality of storm water discharges associated with construction activity from the construction site, and identify non-storm water discharges;
- Identify, construct, implement in accordance with a time schedule, and maintain Best Management Practices (BMPs) to reduce or eliminate pollutants in storm water discharges and authorized non-storm water discharges from the construction site during construction, and;
- Develop a maintenance schedule for BMPs installed during construction designed to reduce or eliminate pollutants after construction is completed (post-construction BMPs).

The preparation of the SWPPP is based on the principles of BMPs and not numeric effluent limitations to control and abate the discharge of pollutants into receiving waters. The BMPs will be maintained by the project developer during the construction phase of this project.



4-2: Utilities

4-2.a: Electricity

Southern California Edison (SCE) provides electrical service to the City of Highland. The nearest services are provided to the existing community immediately to the west of Mediterra, the two existing residences within the plan area, the San Bernardino Valley Municipal Water District facilities along Greenspot Road, and to the recently completed EVWD headquarters on the south side of Greenspot Road. Service to the Mediterra Plan will be provided at a point of connection to the existing facilities and will be extended throughout the Plan area. SCE also maintains the overhead power lines that traverse the Plan area and which will be maintained in their existing condition and location. Exhibit 4-1 shows the existing electrical point-of-connection and the main extension to serve the new community.

4-2.b: Natural Gas

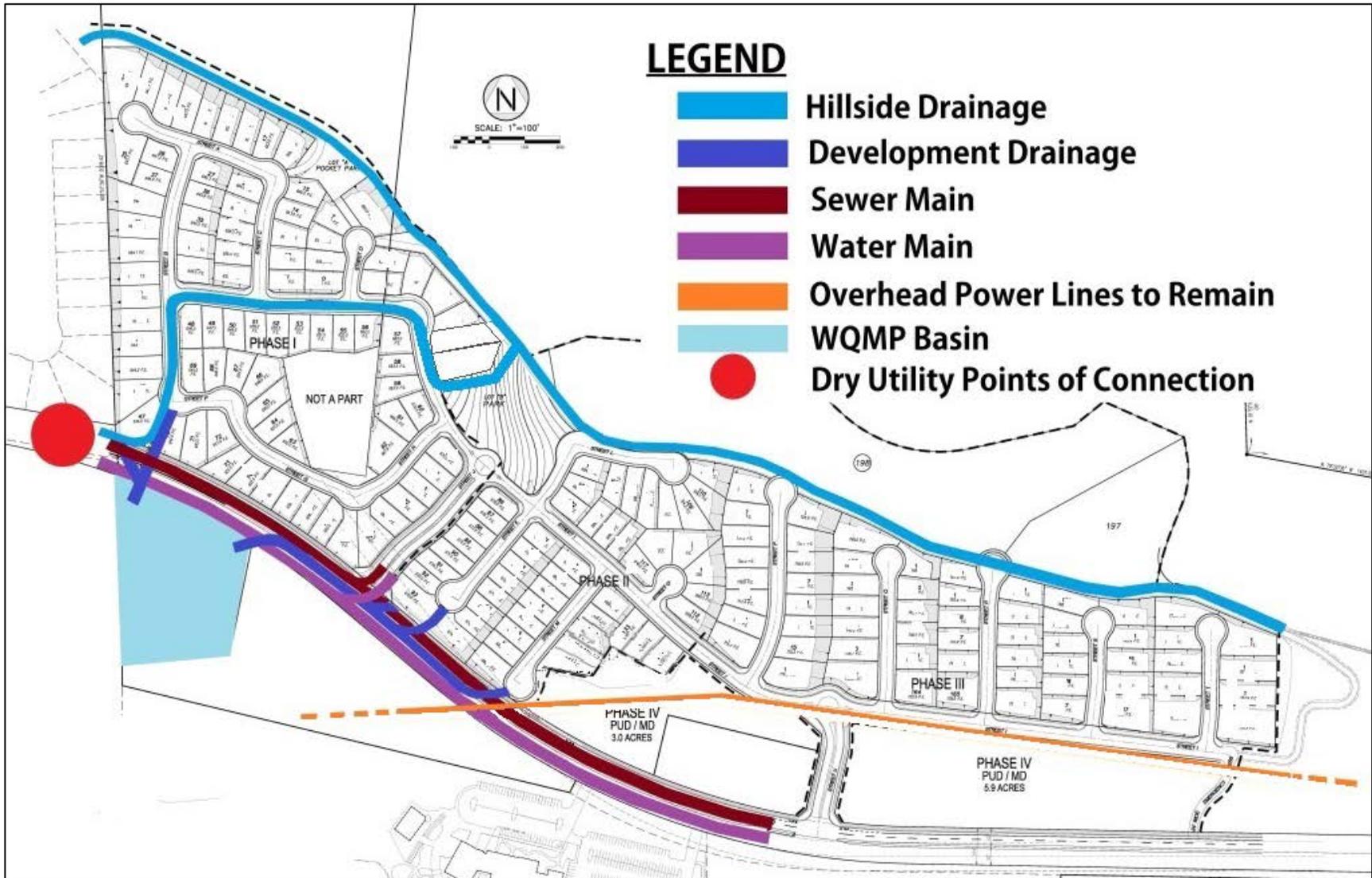
Southern California Gas Company provides natural gas service to the City of Highland. A four-inch medium pressure gas line exists along the south side of Greenspot Road with adequate pressure and capacity to serve the Mediterra project. The main line extends easterly to Santa Ana Canyon Road, providing service to different existing users with possible extension to the east end of the City of Highland. Exhibit 4-1 shows the existing gas point of connection extension to serve the new community.

4-2.c: Cable TV, Telephone, and Internet Services

Time Warner Cable, AT&T, and Verizon California, Inc., provide several services to this area including telephone, Cable TV, and internet services. Existence of infrastructure and capacity for all of these services within close proximity of the Mediterra development has been confirmed with the service providers. Exhibit 4-1 shows the existing points of connection to serve the new community.



Exhibit 4-1: Infrastructure and Utilities



4-3: Phasing of Improvements

The Mediterra improvements will be completed per the standards and requirements of the City of Highland and other applicable public agencies. Phasing of improvements is necessary for providing adequate infrastructure and services including safety measures and emergency response to the community. Phasing is also important for the financial feasibility of the project and for reduction of the up-front capital expenditures and for flexibility relative to market demand. The phasing sequence, particularly for phases 3 and 4 as described below, may be reversed as long as all of the needed infrastructure improvements and public safety measures are implemented subject to the approval of the City of Highland.

4-3.a: Phase 1

Phase 1 of the Mediterra Plan includes PA 1, the closest portion of the project to existing improvements and utilities to serve the development. Mediterra Parkway will be the main point of access from Greenspot Road. All local streets as well as the emergency vehicle access at the westerly edge of the community and all wet and dry utilities within the limits of PA 1 shall be completed with this phase. All of Greenspot Road north side frontage to PA 1, from the existing improvements to the west of Mediterra to the east edge of Mediterra Parkway along with the raised median shall be completed with Phase 1. The portion of the North Fork Trail that falls within the limits of PA 1 shall be completed with this phase.

The WQMP basin shall be completed with Phase 1. Pine Park shall be completed with PA 1.

The Mediterra Park, including the public facilities and the private recreation center as described in Section 8-3.a: Mediterra Park shall be completed with Phases 1 and 2 prior to the issuance of the 140th building permit within Phases 1 and 2.



4-3.b: Phase 2

Phase 2 of the Mediterra Plan includes PA 2 and is the extension of utilities, road system, and other improvements completed in Phase 1. For this phase the length of Avenida Ramblas within the limits of the phase shall be completed, along with all other local streets and dry and wet utilities and other improvements within this phase. All of Greenspot Road north side frontage to PA 2 along with the raised median shall be completed with Phase 2. The portion of the North Fork Trail that falls within the limits of PA 2 shall be completed with this phase. The Mediterra Park, including the public facilities and the private recreation center as described in Section 8-3.a: Mediterra Park shall be completed with Phases 1 and 2 prior to the issuance of the 140th building permit within Phases 1 and 2.

4-3.c: Phase 3

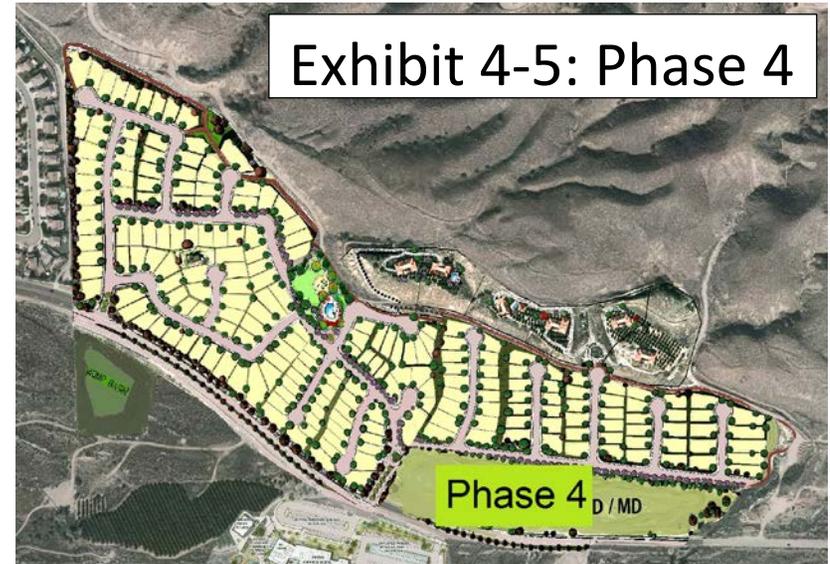
Phase 3 of the Mediterra Plan may occur at PA 3 and is the extension of utilities, road system, and other improvements completed in Phases 1 and 2. For this phase the length of Avenida Ramblas within the limits of PA 3 shall be completed, along with all other local streets and dry and wet utilities and other improvements. The north side portion of Greenspot Road between the previously completed improvements and the easterly edge of Terraneo Parkway which front the Mediterra Plan area along with the raised median shall be completed with this phase. The portion of the North Fork Trail that falls within the limits of PA 3 shall be completed with this phase. Phase 3 may occur after PA 4 as described in Section 4-3.d subject to the approval of the City of Highland. The development of Phase 3 shall be able to proceed and building permits and occupancies shall not be withheld from Phase 3 independent of the status of the Mediterra Park, including the public portion and the private recreation center.



4-3.d: Phase 4

Phase 4 of the Mediterra Plan may occur at PA 4 and relies on improvements completed in all prior phases of the plan. The frontage of PA 4 with Avenida Ramblas shall be fully completed along with all improvements within the limits of PA 4. If Terraneo Parkway is not previously completed then it should be fully improved with this phase. The north side portion of Greenspot Road between the previously completed improvements and the easterly edge of the Plan area which front the Mediterra Plan area along with the raised median shall be completed with this phase. All local streets within the limits of PA 4, including all utilities and other improvements shall be completed with this phase. Phase 3 may occur after PA 4 as described in Section 4-3.c subject to the approval of the City of Highland.

The development of Phase 4 shall be able to proceed and building permits and occupancies shall not be withheld from Phase 4 independent of the status of the Mediterra Park, including the public portion and the private recreation center. Phase 4 will not include a private recreation center.



4-4: Financing of Improvements

The financing of capital improvements for the Mediterra Community will be mainly from private sources, providing timely funding and completion of public facilities including streets, wet and dry utilities, parks, and other necessary improvements. Certain regional infrastructure improvements are funded and constructed by the City of Highland or other regional agencies; new developments contribute their fair share to such regional improvements.

Typical sources of funding mechanisms for capital improvements include:

- Development Impact Fees.
- Community Facility Districts (CFD) or similar financing.
- Conventional subdivision financing from private sources.
- Project-specific mitigation fees.

The Mediterra development will contribute to the construction of infrastructure improvements with one or more of the above funding mechanisms. The development will pay Development Impact Fees, fund and build certain improvements like the parks and trails and streets, and pay a per-lot traffic mitigation fee specific to the development. The challenge of producing conventional financing for the construction of infrastructure needs from private funding sources is an increasingly significant hurdle for residential developments. With that, subject to coordination with the City of Highland or other governmental agencies, a Community Facilities District will be formed to provide funding for some of the development improvements or for the payment of fees. The East Highlands area has several projects with funding from such sources, covering physical improvements, Development Impact Fees, or other qualified development costs.

The developer will seek full or partial credits against the corresponding components of the Development Impact Fees for qualified facilities and improvements to be constructed by the development which otherwise are provided by the City of Highland or other agencies.



4-5: Maintenance of Improvements

The Mediterra Plan creates neighborhood and pocket parks, and other landscape areas, open spaces, and improvements. Some of these improvements may be maintained by a City-administered LMD, PMD, maintenance CFD, a Homeowners Association (HOA), or a combination thereof subject to approval by the City of Highland. The maintenance of such areas by LMD, PMD, CFD, or HOA is justified by their function and access to the Mediterra residents or to the general public, their aesthetic value to the community, or their limited access for maintenance by individual homeowners. Examples of such areas include:

- Greenspot Road median and parkways.
- Mediterra Parkway and Terraneo Parkway medians and parkways.
- Paseo Ramblas along Avenida Ramblas Street.
- Water Quality Management Plan basin.
- The North Fork Multi-Use trail.
- Slopes contiguous to the existing community along the west edge of Mediterra and other select slopes.
- The Mediterra Park and Pocket Park.

Landscape areas, slopes, parkways, and limits between private and public areas are better defined in the process of final engineering of the development. As the final tract engineering defines such areas, the maintenance responsibility will be assigned subject to approval by the City of Highland.

Planning Area 4 is designated as PUD / Medium Density, where a homeowner association would be created to assume the maintenance of the interior common areas and private streets, if any, of this neighborhood.



4-6: Public Services

4-6.a: Medical Services

Primary ambulance service within the East Highlands area is provided by the American Medical Response Ambulance Service.

4-6.b: Solid Waste

Collection of refuse and other solid waste in the City of Highland is provided by privately owned disposal companies approved by the City of Highland. The current solid waste disposal provider servicing the portion of the City located south of Base Line is Cal Disposal. The collection route will be expanded to include the Mediterra community for this service.

4-6.c: Police Service

Local law enforcement service in Highland is provided by the San Bernardino County Sheriff's Department under a contract with the City of Highland. At the time building permits are secured, the Mediterra Development will pay Development Impact Fees per City of Highland ordinance.

4-6.d: Fire Protection and Emergency Services

Highland is currently protected by crews and equipment from CAL FIRE. The nearest fire station is located on Base Line near Weaver Street, about two miles northwest of Mediterra. The first line of defense in fire protection is prevention, and to this end, the Mediterra plan incorporates design and site planning that minimize exposure of the adjacent residential neighborhoods to the natural hillside areas and lessen the burden of fire protection services. Additionally, the plan incorporates access points for Fire apparatus and personnel to the North Fork Trail along the areas of interface with the open space natural slopes. At the time building permits are secured, the Mediterra Development will pay Development Impact Fees per City of Highland ordinance.



4-6.e: Libraries

The most recent and closest library is the Sam J. Racadio Library and Environmental Learning Center, located at 7863 Central Avenue, about two and one-half miles west of Mediterra. The Sam J. Racadio Library is a state of the art facility and was completed in 2005. The developers of the Mediterra plan will pay the Library component of the City's Development Impact Fee as required by City ordinance.

4-6.f: Schools

Mediterra is within the attendance boundary of the Redlands Unified School District (RUSD). The school district is responsible for providing complete educational services and facilities for local students. These educational services are for kindergarten through grade twelve. The school district collects fees per dwelling unit at the time building permits are secured for purposes of financing school facilities.

Following are the existing public schools that are assigned to serve the Mediterra Community:

Mentone Elementary School (grades K-5)

Location: Mentone, Northeast corner of Mentone Blvd and Crafton Ave., Redlands

Distance: Approximately 6 miles from Mediterra

Beattie Middle School (grades 6-8)

Location: Between Boulder Avenue and Orange street, south of Eucalyptus Avenue, Highland

Distance: Three and one half miles from Mediterra

Redlands East Valley High School (grades 9-12)

Location: 31000 East Colton Avenue, Redlands

Distance: Five miles southeast of Mediterra



Chapter 5: Public Safety

5-1: Seismic Safety

Seismic activity and public safety are primary considerations in the layout and design of housing, infrastructure, and open space in the Mediterra Community. Portions of the East Highlands area are within a zone of suspected active faulting defined by the Alquist-Priolo Special Studies Zones Act as approximately mapped on the California Division of Mines and Geology Special Studies Zone Map. The major potential geologic hazard in the area is a trace of the south branch of the San Andreas Fault. This is a common occurrence for the East Highlands area where thousands of homes have been built along the side of the known San Andreas Fault alignment. For that to occur, State Law requires the investigation of the fault presence within the Special Study Zone prior to issuance of building permits.

The City of Highland General Plan Goals 6.1, 6.3, and 6.5 address the management of risk to public health and welfare from seismic and geologic activities, from flooding events, and from fires at wildland-urban interfaces. Chapter 10 of the Plan addresses in detail the Plan's consistency with these General Plan Goals and the related policies.

Extensive geologic studies, including mapping, analysis, and recommendations, were completed by LOR Geotechnical Group and several other geologists for this property and surrounding projects. Among the investigative work are several 2005 fault trenches by LOR Geotechnical with one trench at the easterly end of the Mediterra plan, showing no faulting presence. Along the westerly portion of the Plan, within Planning Area 1, fault trenches were conducted and documented in 2007 proving the absence of faulting and clearing the way for the construction of a previously planned Church. The clearance applies to habitable structures such as the residential development proposed by the Mediterra Plan. As such the County of San Bernardino Geologist has given clearance to Planning Area 1 to proceed with development based on the evidence provided by the fault investigations to date.

In order to further advance the faulting clearance for the Plan area, LOR Geotechnical conducted a Seismic Refraction Study of the remainder of the Plan area, specifically Planning Areas 2, 3, and 4. The investigation was completed in September 2013 and the findings indicate the absence of any faulting on the property. These findings provide evidence of lack of faulting, which



match the findings of trench investigations conducted previously on the property as well as on existing tracts to the west where homes have been occupied for several years.

In February 2014 LOR prepared a summary report of all investigations and information available to date from the different projects in the close vicinity and from investigations performed on the property. The report states that it is unlikely for the San Andreas Fault to traverse the remainder of the site based on all of the evidence available to date. Yet, to confirm the absence of any faulting within the remaining residential areas of the Plan additional trenching will be conducted prior to the grading of Planning Areas 2, 3, and 4. It should be noted that the citrus groves on the property are still productive; as such the investigation shall occur at a timeframe that does not disrupt the irrigation and maintenance of the groves prematurely. Additionally, the trench investigation shall be scheduled in a manner that does not jeopardize the stability of the soil and create erosion concerns.

5-2: Fire Exposure Management

The Plan area is located within Fire Hazard Zone I as specified in Figure 6-6 Fire Hazards and Safety Overlay Areas of the City of Highland General Plan. The City allows residential development within this area provided special precautions are taken, especially along the interface between developed and natural areas. Simply stated, the best fire mitigation measures are those of avoidance. The Mediterra Plan is crafted to avoid or minimize the fire exposure from the rising hillside to the north. Planning Area 1 is adjacent to the hillside with limited fuel-content native cover, similar to the condition at the existing community just west of Mediterra. Planning Areas 2 and 3 abut the 13-acre A/Eq area of the Plan (PA 5) with existing irrigated and maintained citrus groves, and relatively low fuel content.



An existing access road will be widened and improved as the North Fork Trail



The Plan adopts the necessary measures to minimize the fire exposure to these areas.

5-2.a: Fire Control through Site Planning

Although relatively low in fuel content, the Mediterra Plan deliberately avoids encroachment into the natural open space for development. Adequate separations between the residential structures and the hillside along with other fire safety measures have been adopted at the northerly edge of the community. Different planning concepts and edge treatments are implemented in the site plan including setbacks, road frontages, trail placement, and others. These measures greatly minimize exposure to hillside fires. In addition to the avoidance measures the plan provides easy access to the North Fork Trail along the north edge of the community to the Fire Department in case of emergency from adjacent cul-de-sacs or other public streets. The North Fork Trail also serves as a non-combustible fire buffer between the hillside and the neighborhoods. City consultants and the Fire Department have reviewed the community design and have agreed to its adequacy for avoidance of fire exposure. Also, a fuel modification zone shall be established for the Mediterra development and periodic inspections as required by the Fire Department shall be conducted by HOA consultant(s) approved by the Fire department. If fuel abatement is deemed necessary then it shall be performed by the HOA to the satisfaction of the Fire Department.

5-2.b: Fire Control through Architectural Standards

Standards for building materials, sprinkler systems, and other similar provisions shall be provided by the homebuilder for approval by the City of Highland. Building materials, such as tile roofing, stucco walls, dual-pane windows, fire sprinklers, and roof attic-venting, shall be used along with the site planning preventive measures. Landscaping on homesites and in public spaces shall account for the proximity to the hillside. Low fuel landscape materials as specified in the project landscape palette should be selected by the project's Landscape Architect to assist in the fire prevention measures for the community.



Chapter 6: Design Objectives and Guidelines

6-1: General Design Objectives

The main design objective for the Mediterra Plan is to create residential neighborhoods that are attainable and attractive to future residents while being an asset to the whole community. The property enjoys a great setting of gradual climb from its frontage with Greenspot Road towards the hills to the north. The views of the valley below, with the spread of the Santa Ana River and the silhouette of the Crafton Hills to the south are inspiring for the creation of a great residential community.

Following are some of the design objectives this document strives to achieve:

- Create a high standard in neighborhood design that integrates architecture, site planning, and landscape into a distinct, unified concept and implement it consistently throughout the community.
- Build neighborhoods that improve over time.
- Provide an inherent feeling of neighborhood safety.
- Create attractive and comfortable street scenes and common space.
- Provide local open space where neighbors can meet and children can play.
- Announce the arrival to the community with a clear identity articulated by monumentation, architecture, details, and colors that depict the community theme.
- Enhance and encourage connectivity and social interface between neighborhoods with a safe and attractive pedestrian-oriented network inclusive of common amenities and desirable destinations.
- Offer prospective homebuyers a range of housing types suited for different ages, family sizes, and socioeconomic conditions; providing opportunity for fee simple ownership.
- Implement City policies relating to land use, open space preservation, transportation, flood control, and public safety.

The Plan provides a clear vision and objectives of the community including character, architectural style, housing types, amenities, circulation, and others with standards that encourage creativity and flexibility for designers. The builder implementing the Plan shall adhere to the general vision and goals, and present for the approval of the City of Highland the final architectural design, park plans, and landscape design and details in compliance with this Plan.



6-2: Site Planning and Neighborhood Standards

The Mediterra site planning approach respects the lay of the land and hugs its natural contours with home sites and private and public spaces. The site layout, architectural design, and landscape theme create a unified concept and character that define this community. The following General Site Design Standards shall be utilized in the site planning:

- Create intimate and comfortable street scenes within neighborhoods with modest front yard setbacks and architecture forward.
- Vary lot and unit configurations between planning areas while still maintaining a cohesive theme.
- Enhance landscape and other visual treatments along main community roadways.
- Utilize short segments for local streets and facilitate connectivity to collector streets.
- Minimize front setback of livable space portion of structure and porches consistent with Mediterranean site planning tradition and by implementing the Architecture Forward approach.
- Provide block walls along the side of corner lots, main streets, and edge conditions. Tubular steel view fencing could be used where desirable as long as noise and privacy are not a concern. Vinyl or tubular steel fences can be used between houses on internal property lines; House Returns facing the streets shall be made of block walls.

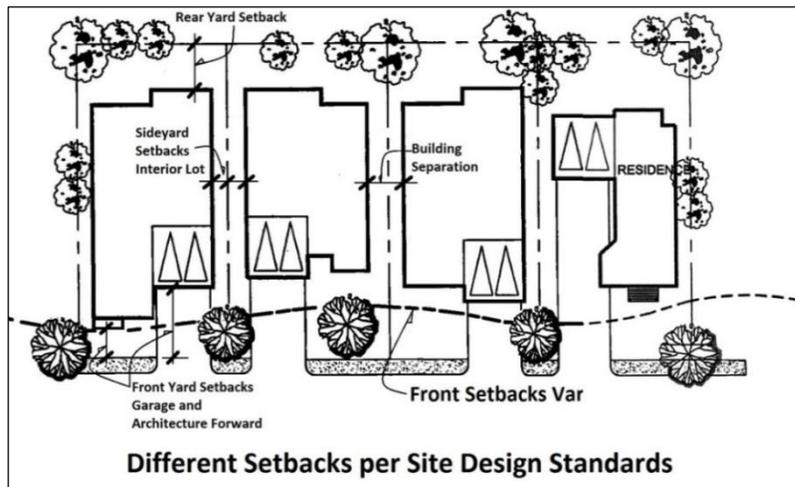
The intent of the design standards is to create a livable and functional community with pleasant architecture, attractive common amenities, and proper relationships between private and public spaces through innovative interpretation of the Plan's goals and objectives. The standards should be flexible to accommodate a particular condition where the intent of the standards is maintained and the community objectives are not compromised.



6-3: Plotting and Architectural Massing for SFD Products

Creating street scenes that have visual interest is a primary community objective. The following basic elements are intended to develop variations in appearance and a sense of individuality for each home.

- Stagger front setbacks to provide minor undulation and variety in the street scene.
- Provide variation in floor plans, massing forms and facade elements. Vary streetscape by utilizing various architectural styles; avoid long, continuous rows of identical houses.
- Provide articulation of façades and wrapping materials on exposed sides.
- Reduce impact from plain garage doors with architectural details that add to the aesthetics of the structure or use recessed garages with deeper setbacks from the livable portion of the residence.
- Place emphasis on architectural components with the use of second story elements and balconies or articulation of architectural details around garage doors.



The Spanish Monterey Style relies on the second floor balcony as a signature architectural and functional feature..

Following are design standards for the SFD and PUD / MD products.



SINGLE FAMILY DETACHED 1 – SFD1 – PA 1

1. **Permitted Uses:** Conventional detached single family homes.
2. **Lot Size and dimensions:** Minimum size of 6,500 square feet; minimum lot width of 55 feet and depth of 85 feet. Pie-shaped lots may have less frontage width than the minimum as long as they accommodate the building footprint and meet the minimum setback requirements.
3. **Maximum lot coverage:** 50%
4. **Building Height:** 2 stories maximum, not to exceed 35 feet
5. **Building Setbacks:**
Front Yard - a minimum of 10 feet to the livable building space or side entry garage. Minimum setback to the face of garage door is 20 feet.

Side Yard (**interior and street side**) - 5 feet minimum to property line.

Rear Yard - 10 feet minimum with an average of 15 feet. For lots with ascending rear yard slopes, retaining walls or other mechanisms shall be implemented to provide the intended setbacks as usable space.
6. **Parking:** Minimum 2-car garage.

- Unless stated otherwise in the Plan or the approved Tentative Tract Map, the permitted uses for SDF1 shall follow the R-1 uses of Table 16.16.030.A Uses Permitted Within Residential Districts of the City of Highland Municipal Code.
- Large and functional side yards, or the aggregate space of side and rear yard, such as on irregular shape lots, shall be deemed adequate in meeting the private open space needs of the individual lot.
- Architectural projections: Fireplaces, bay windows, pot shelves, fin walls, and other similar projections may extend a maximum of two (2) feet into the required setback.
- There shall be a minimum of 5-foot landscape separation between the street sidewalk and the privacy wall for all corner lots. The separation between the corner lot structure and the side wall shall follow the same standards as side yard setback for interior lots.
- Setbacks shall apply to single story and 2-story elements.
- Approval of a building heights 3 stories or more than 30 feet (measured from ground to eaves) are contingent upon the City's ability to adequately serve the property with aerial firefighting and rescue apparatus.



SINGLE FAMILY DETACHED 2 – SFD2 – PA 2

1. **Permitted Uses:** Conventional detached single family homes.
2. **Lot Size and dimensions:** Minimum size of 5,500 square feet; minimum width of 45 feet and depth of 90 feet; Pie-shaped lots may have less frontage width than the minimum as long as they accommodate the building footprint and meet the minimum setback requirements.
3. **Maximum lot coverage:** 50%
4. **Building Height:** 2 stories maximum, not to exceed 35 feet
5. **Building Setbacks:**

Front Yard - a minimum of 8 feet to the livable building space. Minimum setback to the face of garage door is 19 feet.

Side Yard (**interior and street side**) - 5 feet minimum setback to property line.

Rear Yard – 10 feet minimum setback with an average of 15 feet. For lots with ascending rear yard slopes, retaining walls or other mechanisms shall be implemented to provide the intended setbacks as usable space
6. **Parking:** Minimum 2 car- garage.
 - Unless stated otherwise in the Plan or the approved Tentative Tract Map, the permitted uses for SDF2 shall follow the R-1 uses of Table 16.16.030.A Uses Permitted Within Residential Districts of the City of Highland Municipal Code.
 - Large and functional side yards, or the aggregate space of side and rear yard, such as on irregular shape lots, shall be deemed adequate in meeting the private open space needs of the individual lot.
 - Architectural projections: Fireplaces, bay windows, pot shelves, fin walls, and other similar projections may extend a maximum of two (2) feet into the required setback.
 - There shall be a minimum of 5- foot landscape separation between the street sidewalk and the privacy wall for all corner lots. The separation between the corner lot structure and the side wall shall follow the same standards as side yard setback for interior lots.
 - Setbacks shall apply to single story and 2-story elements.
 - Approval of a building heights 3 stories or more than 30 feet (measured from ground to eaves) are contingent upon the City's ability to adequately serve the property with aerial firefighting and rescue apparatus.



SINGLE FAMILY DETACHED 3 – SFD3 – PA 3

1. **Permitted Uses:** Conventional detached single family homes.
2. **Lot Size and dimensions:** Minimum size of 7,200 square feet; minimum width of 60 feet and depth of 100 feet. Pie-shaped lots may have less frontage width than the minimum as long as they accommodate the building footprint and meet the minimum setback requirements.
3. **Maximum lot coverage:** 50%
4. **Building Height:** 2 stories maximum, not to exceed 35 feet
5. **Building Setbacks:**

Front Yard - a minimum of 10 feet to the livable building space or side entry garage. Minimum setback to the face of a front-entry garage door is 22 feet.

Side Yard (**interior and street side**) - minimum side yard setback of 5 feet. Each lot shall have an aggregate of 15 feet of side yard setback.

Rear Yard – 15 feet minimum to the property line. For lots with ascending rear yard slopes, retaining walls or other mechanisms shall be implemented to provide the required setbacks as usable space.
6. **Parking:** Minimum 2-car garage.

- Unless stated otherwise in the Plan or the approved Tentative Tract Map, the permitted uses for SDF3 shall follow the R-1 uses of Table 16.16.030.A Uses Permitted Within Residential Districts of the City of Highland Municipal Code.
- Large and functional side yards, or the aggregate space of side and rear yard, such as on irregular shape lots, shall be deemed adequate in meeting the private open space needs of the individual lot.
- Architectural projections: Fireplaces, bay windows, pot shelves, fin walls, and other similar projections may extend a maximum of two (2) feet into the required setback.
- There shall be a minimum of 5- foot landscape separation between the street sidewalk and the privacy wall for all corner lots. The separation between the corner lot structure and the side wall shall follow the same standards as side yard setback for interior lots.
- Setbacks shall apply to single story and 2-story elements.
- Approval of a building heights 3 stories or more than 30 feet (measured from ground to eaves) are contingent upon the City's ability to adequately serve the property with aerial firefighting and rescue apparatus.



PLANNED UNIT DEVELOPMENT / MEDIUM DENSITY – PUD/MD – PA 4

The permitted residential uses for the Planned Unit Development / Medium Density land use shall be attached or detached single family homes.

The PUD/MD will require a separate site planning process as required by the City. As is typical of such residential neighborhoods, the site planning is largely dictated by the type of product and plotting configuration. Different configurations include attached or detached single family fee simple small lots, alley-loaded lots, motor court clusters, and greencourts to name a few. While the architectural theme and detailing shall be consistent with the Plan's objectives, the common and private open space, setbacks, and other site plan features are product-sensitive and site-specific.

The variations in product design and site planning details for Medium Density products such as access and circulation, building orientation, plotting, parking, private and common open space, etc. vary greatly between products. The builder implementing the Medium Density land use shall provide all of the site planning, plotting, landscaping, and architectural detailing for review and approval by the City of Highland.

1. **Permitted Uses:** Medium Density detached or attached single family homes.
2. **Building Height:** 2 stories maximum, not to exceed 35 feet
3. **Building Setbacks:**
 - Front Yard - a minimum of 5 feet to the livable space / porch. Minimum setback to the face of garage door is 3 feet from property line.
 - Side Yard (**interior and street side**) – 0 feet.
 - Rear Yard – 3 feet minimum to the alley for living space and garage.

Note: Approval of a building heights 3 stories or more than 30 feet (measured from ground to eaves) are contingent upon the City's ability to adequately serve the property with aerial firefighting and rescue apparatus.

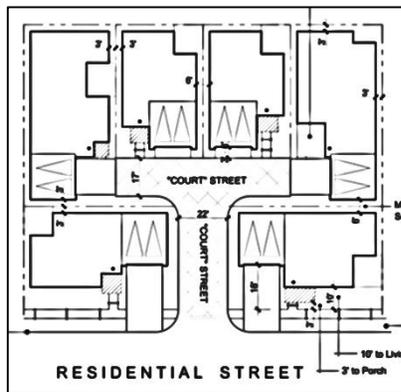
Table 6-1: Summary of Design Standards includes the design standards for all residential neighborhoods, inclusive of the Low Density and the Medium Density products



The allowed uses in the Medium Density residential land use may include:

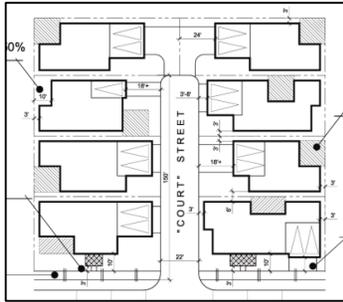
- Single-family detached
- Single-family attached (duplex, triplex, fourplex, etc.)
- 2 or more dwellings per parcel
- Senior independent living
- Day nurseries, nursery schools, child care facilities per state law more than 14 children
- Home Based Businesses (subject to the provisions of HMC 16.44.140, and the issuance of a home based business permit)
- Private swimming pool, tennis court, and other similar recreational facilities
- Recreational vehicle storage yard (ancillary to main use)
- Other accessory uses and structures located on the same site as a use subject to staff review
- Infrastructure improvements such as water pressure equipment and appertences, utility vaults, etc. shall be allowed,

Unless stated otherwise in the Plan or the approved Tentative Tract Map, the permitted uses for PUD/MD shall follow the R2 uses of Table 16.16.030.A Uses Permitted Within Residential Districts of the City of Highland Municipal Code.



Sample motor court configuration for Planned Unit Development / Medium Density with detached product, shown here for illustration purposes.





Alley-loaded and compact lot products are popular configuration for Planned Unit Development / Medium Density, shown here for illustration purposes with sample plotting and façades.

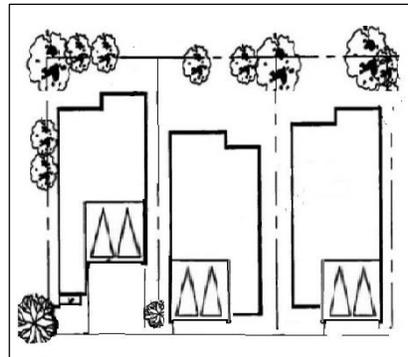
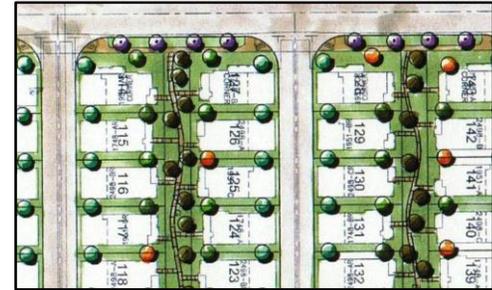


Table 6-1: Summary of Design Standards

Land Use and PA No.	Min Lot Size	Min Width	Min Depth	Lot Coverage	Building Height	Setbacks	Parking
SFD 1 PA 1	6,500 sf	55 ft	85 ft	50%	2-story 35 ft	Front: 10 ft to livable space / side entry garage 20 ft to garage door Side: 5 ft Rear: 15 ft	2-car garage min.
SFD 2 PA 2	5,500 sf	45 ft	90 ft	50%	2-story 35 ft	Front: 8 ft to livable space / side entry garage 19 ft to garage door Side: 5 ft Rear: 15 ft	2-car garage min.
SFD 3 PA 3	7,200 sf	60 ft	100ft	50%	2-story 35 ft	Front: 10 ft to livable space / side entry garage 22 ft to garage door Side: 5 ft min; 15 ft aggregate Rear: 15 ft	2-car garage min.
Medium Density - MD PA 4	3,000 sf gross per unit	NA	NA	60%	2-story 35 ft	Front: 5 ft to livable space / porch 3 ft min to garage door Side: 0 ft Rear: 3 ft for living space at alley 3 ft for garage at alley	2 plus 0.5 for guest
A/Eq PA 5	Per City of Highland Municipal Code						

- Lot width at street frontage for SFD 1, 2, and 3 may be less than the stated minimum for pie-shaped lots as long as the building footprint fits on the lot and the minimum setbacks are met.
- Guest parking may be on the side of public streets for SFD lots or a designated off street area for the Medium Density product.
- Alleys, rear loaded or in motor court streets, shall have a minimum width of 25 feet.
- Architectural projections such as fireplaces, bay windows, pot shelves, fin walls, and other similar projections may extend a maximum additional two (2) feet into the required setback.
- Accessory Structures such as gazebos, playhouses, covered decks and patios, pools, spas and equipment shall be setback a minimum of 3 feet from property lines.
- Walls may exceed 6 feet in height for noise abatement where required by an acoustical study. Combination retaining / freestanding walls shall have a maximum height of 9 feet measured from the lower finish grade.
- Large and functional side yards, or the aggregate space of side plus rear yard, shall be deemed adequate in meeting the private open space needs of the individual lot.
- There shall be a minimum of 5 foot landscape separation between the street sidewalk and the privacy wall for all corner lots. The separation between the corner lot structure and the side wall shall follow the same standards as interior lots side yard setback.
- Design guidelines shall be submitted with an architectural package inclusive of floor plans and elevations, along with a detailed site plan for approval by the City of Highland.
- Approval of a building heights 3 stories or more than 30 feet (measured from ground to eaves) are contingent upon the City's ability to adequately serve the property with aerial firefighting and rescue apparatus.



Chapter 7: Architectural Guidelines

7-1: Architectural Principles and Objectives

The design character of Mediterra is one that captures the storied Mediterranean warm and sustainable architecture and integrates it with the function and efficiency of today's lifestyle and technology. It evokes the feeling of simple, yet charming homes and street scenes of lasting quality and welcoming draw.

The selection of architectural styles for the Mediterra community is intended to provide a well-defined theme using different styles for visual variety through massing, details, color, and other expressions. There should be an overall compatibility between the different planning areas from an architectural aspect without the appearance of mass production and duplication. A careful selection of the architectural color palette will avoid monotony, and promote visual interest and diversity within the adopted overall theme. Innovative interpretations of classic combinations of materials and colors are encouraged so long as they relate to the general character and remain true to the roots and intent of the community design.

Simple design benefits smaller homes with adoption of stacking of mass and attention to details; as such, simplicity is encouraged for architectural design of homes and community features. The intent of the guidelines is not to be restrictive or limiting, but to help achieve neighborhoods with a higher level of visual, functional, and living quality. Architects are encouraged to express individual creativity in interpreting the different architectural styles using appropriate massing, roof forms, architectural elements and details, and color palettes to reflect the character of the chosen style.



A light color palette, recessed features, elongated windows, and shutters are all characteristic of the Italian style.



Brown primary colors, dark blue trimming and shutters as well as the combination of one and two story elements exemplify aspects of the Spanish Colonial Style.



7-2: Architectural Theme

North America's Spanish architectural styles embrace the entire Mediterranean world, borrowing from Spain, Portugal, Italy, and northern Africa, with most influence from Spanish architecture. America's Spanish houses capture the flavor of Spain without imitating or adhering to one tradition or specific style.

Independent of historic circumstances, Southern California enjoys many ingredients native to the Mediterranean region from topography to climate. One visible similarity is in the type and quality of agricultural products that are common to the two regions. The Spanish City of Valencia lent its name to the fruit that shored the economic wellbeing of the East Highlands area and many other regions of California for generations. The likeliness and overall feel of the East Highlands area with the Mediterranean French City “Menton” lead local visitors to that city to borrow the name for their community Mentone, which is located to the south-east of Mediterra, across the Santa Ana River. This is a common occurrence applying to California’s Santa Barbara as it is sometimes known as the “American Mentone” along with its better known reference as the “American Riviera”.



Mediterranean Architecture across Southern California including Santa Barbara and Highland. The Cram House on Palm Ave, Highland (bottom), is a good example of Spanish architectural influence on the area.



Today’s Spanish Mediterranean homes often feature a rich earthy color palette inspired by the shores of the Mediterranean Sea, incorporating different shades on the exterior. This typically includes one color for stucco, one for trim, and one for accents such as doors, windows, and other openings. Most Mediterranean homes feature red roof tiles. Colors for the structure would include whites, tans, and shades of beige. While lighter colors help to bring out and highlight architectural details, darker colors accent recessed areas like windows, doors and other openings.

7-3: Architectural Styles

An important goal in this community is to develop varied and interesting street scenes. In order to achieve this, an architectural palette has been selected that represents those styles historically found in the Mediterranean communities and successfully adopted into the California landscape. Builders will select from the following architectural styles and may suggest other styles consistent with the Mediterranean architectural theme of the community:

- (a) **Monterey Spanish Style**
- (b) **Italianate Style**
- (c) **Santa Barbara Style**
- (d) **Spanish Colonial Style**



Project Architects are encouraged to introduce other compatible Mediterranean-inspired architectural styles such as Tuscan and Southern Italian to further enrich the eclectic palette of the community architectural theme.

Simplicity is at the core of the sustainability of Mediterranean architecture and its long-lasting appeal. The simple forms, scale of masses, appeal of detail, and the selective use of finish materials make this architectural style attractive and attainable for essential community structures as well as for residential neighborhoods. Two-story houses provide a greater opportunity for architectural massing and detailing than single-story houses can offer. In general, small houses benefit from two-story elements. For instance, the Spanish Monterey Style relies on the second floor balcony as a signature architectural and functional feature. The typical treatment of balconies on this architectural style is very enriching to the façade of the house and the street scene. Neighborhoods with only two-story houses can be advantageous for such architectural purposes and to accommodate market demand and house size efficiency.



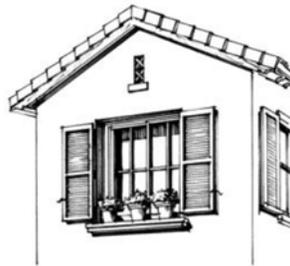
7-3-A: Monterey Style

The Monterey style emerged in the town of Monterey on California’s central coast in the mid-19th Century. The style developed from a combination of two-story New England colonial house with an Adobe brick exterior. Later, the Monterey Style was merged with elements from the Spanish Eclectic and Colonial Revival styles. Throughout this evolution, the defining feature of the Monterey style remained the same: a prominent second-floor balcony. Primary colors are typically whites and light colors trimmed by white or dark wood tones.

(Images shown for illustrative purpose only)



Prominent and functional balcony



Authentically sized and styled shutters



Cantilevered second story elements

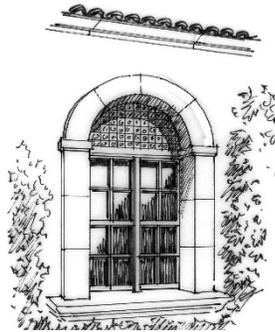
Style Elements	Required
Form	<ul style="list-style-type: none"> Typically two stories with simple building massing
Roof	<ul style="list-style-type: none"> Standard 4:12 roof pitch reducing to 3:12 pitch over front and rear porches Flat or 'S' concrete roof tile with colors ranging from brown to terracotta and red 12" to 24" overhangs with extended eaves and exposed rafters
Details	<ul style="list-style-type: none"> Stucco-wrapped chimneys with a simple cap Shutters can be added as accents as long as they appear authentic Balconies are a focus of the building with cantilever Windows can be trimmed with stucco or wood Entryways can be set back under the cover of a veranda or second floor When used, Verandas are large and open with wood detailing
Colors	<ul style="list-style-type: none"> Whites, painted brick building color White or dark brown trim



7-3-B: Italianate Style

The Italianate style is a variant of the Italian Renaissance style that became popular in the mid-19th century, and is one of the significant California architectural revival movements. This style is generally characterized by cornices supported by corbels spaced at regular intervals, elongated vertical windows, and sometimes by a tower element called a belvedere. Similar to other Mediterranean Revival styles, Italianate structures can include a low-pitched roof, arch details, and light primary colors trimmed with accent colors.

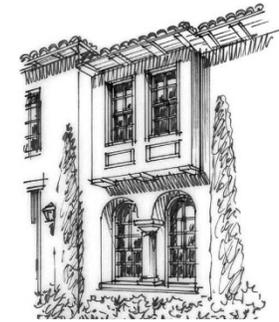
(Images shown for illustrative purpose only)



Recessed window with arch detail over conventional window



Decorative trellis, Elongated proportion of windows



Recessed and pop-out windows, Roof overhang with corbels

Style Elements	Required
Form	<ul style="list-style-type: none"> Combination of one and two story forms
Roof	<ul style="list-style-type: none"> Roof pitch at 4:12 Concrete 'S' or barrel roof tile that shall range in color from reddish orange to deep terracotta 12" to 20" overhanging eaves with stucco eaves or decorative brackets
Details	<ul style="list-style-type: none"> Chimney with stucco finish and a detailed cap Balconies with decorative wrought iron details Deep set or pop-out windows and doors, along with architectural projects that achieve articulation Arched and curved window tops over conventional rectangular windows Occasional window shutters as long as they appear authentic Entry accented by a decorated door frame Details that emphasize verticality, such as tower elements and elongated windows Decorative trellises and pergolas of bold, clean forms
Colors	<ul style="list-style-type: none"> Lighter color stucco with a palette range of white to light beige, with darker or lighter accents to highlight the character of the structure



7-3-C: Santa Barbara Style

This style was established in the City of Santa Barbara after a devastating earthquake in 1925. The city realized the cultural value in preserving and continuing the character of its existing historical buildings, and in doing so established its own signature architectural style rooted in Mediterranean Revival Style. The resulting Santa Barbara Style is now an established member of the Californian architectural vernacular. White-washed stucco walls are inherent to the Santa Barbara style, which also features boxy, simple forms, low-pitched gable roof form, and the use of wood and tile as accent details.

(Images shown for illustrative purpose only)



Recessed entry with porch; two story elements



Recessed windows

Style Elements	Required
Form	<ul style="list-style-type: none"> ▪ Boxy and simple massing ▪ Two-story stacked elements ▪ Single story elements next to two-story main structure
Roof	<ul style="list-style-type: none"> ▪ Roof pitched at 4:12 to 5:12 ▪ Barrel tile or concrete 'S' tile on roof ranging in color from reddish orange to deep terracotta
Details	<ul style="list-style-type: none"> ▪ Arched covered porches and arcades ▪ Balconies with strong wood columns and deep color ▪ Recessed entry with covered porch ▪ Simple door trims ▪ Occasional decorative tile on front façade ▪ Recessed windows
Colors	<ul style="list-style-type: none"> ▪ Stucco exterior with light white color ▪ Exposed wood beams with dark color to distinguish from stucco light color



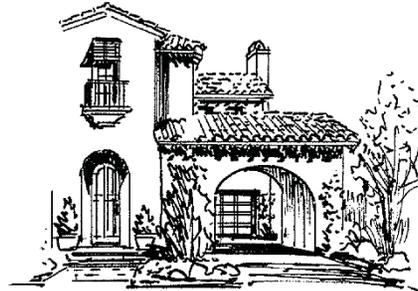
7-3-D: Spanish Colonial Style

Especially popular in California’s coastal cities during the 1920s and early 1930s, Spanish Colonial style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. Prominent entries, central courtyards and front elevations that are simply detailed and articulated characterize this style. Light white and brown colors with wood accents are common, coupled with red barrel roof tiles at a relatively low-pitch roof angle.

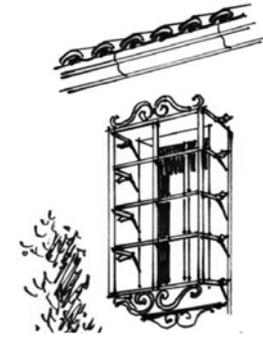


Prominent entries, sometimes utilizing courtyards

(Images shown for illustrative purpose only)



Two story massing with one-story element



Recessed window, Wrought iron details

Style Elements	Required
Form	<ul style="list-style-type: none"> ▪ Roof pitched at 4:12 and 5:12 ▪ Barrel tile or concrete 'S' roof tile on roof ranging in color from reddish orange to deep terracotta ▪ Two-story massing with occasional one-story element
Roof	<ul style="list-style-type: none"> ▪ Roof pitch at 4:12 ▪ Concrete 'S' or barrel roof tile that shall range in color from reddish orange to deep terracotta ▪ 12" to 20" overhanging eaves with stucco eaves or decorative brackets
Details	<ul style="list-style-type: none"> ▪ Exterior arches and round or square exterior columns ▪ Overhangs will have tight rakes and 12" eaves, with exposed rafter tails ▪ Stucco-wrapped chimneys with articulated cap details ▪ Porches accented by columns, walls, and entry gates ▪ Balconies with wood or wrought iron details ▪ Recessed doors and windows with occasional decorative tile ▪ Primary windows may have shutters
Colors	<ul style="list-style-type: none"> ▪ Primary colors consist of white or brown tones, or soft shades of peach ▪ Trims and accents are darker wood tones, match the primary color, or are dark blues or shades of green



Besides the simple-flowing lines and forms, Mediterranean style homes are also known for their airy and functional spaces. Some unique Mediterranean architectural elements are derived from a functional need or an accommodation of a favorable regional condition. The mild warm weather of the Mediterranean region allowed the structure's function to transcend its physical limits and blend the exterior with the interior through wide openings and transitional spaces. That functionality is well fitting of the California landscape and climate and could be a contributing element in the architectural design of the Mediterra Community.

Balconies and arched walkways are familiar Mediterranean architectural and functional elements adopted in residential communities across Southern California. The recent adoption of the California Room is another practical accommodation of the favorable weather conditions and desire for connection with the outdoors.



Santa Barbara Style that demonstrates many of the historical design cues that have been adapted into California's architectural vernacular.



Italianate style incorporates light trims, elongated windows and recessed features.



Courtyards, tiled roof, prominent entry and two story massing with one-story elements are typical of the Spanish Colonial Style.

...all examples are good testimonies of the applicability of the simplicity and functionality of Mediterranean Architecture on the smallest to the largest of residences.



Chapter 8: Open Space and Recreational Uses

The City of Highland General Plan, Chapter 5 - Conservation and Open Space Element, identifies the following as the most important issues to preserve and enhance open space and recreational opportunities:

- *Expand park and recreation opportunities for all ages*
- *Connect future growth to open space with adequate multi-use trails*
- *Continue to implement the planned trails and bikeways system*
- *Look for new ways to recycle and conserve water and energy*
- *Protect and enhance scenic vistas*
- *Work with local and regional agencies to protect sensitive species, habitat and watersheds and link wildlife corridors*
- *Add more greenbelt areas*



Hillside Backdrop to the Highland Community
as seen from trails along the Santa Ana Wash

The Mediterra Plan takes notice of the above goals and strives to make use of the land's unique location and topographic advantages to implement the City's open space and recreational vision. Goals of particular importance are open space preservation, expansion of park and recreational opportunities, and the adoption of trails, all of which the Mediterra Plan plays a significant role in realizing. In regards to open space, the Mediterra Plan provides the following:

- The natural hillside in the northern portion of the Mediterra Plan will be preserved as permanent open space and the development of neighborhoods and active recreational amenities will be restricted to the lower portions of the Plan area. The hillside areas contain roads for fire protection and other access needs.
- Multi-Use trails are an important component of the community's social and recreational infrastructure and will be incorporated in the Mediterra community design.
- Recreational areas that include a neighborhood park, trails, park nodes, Paseos, and other amenities.



8-1: Hillside Open Space

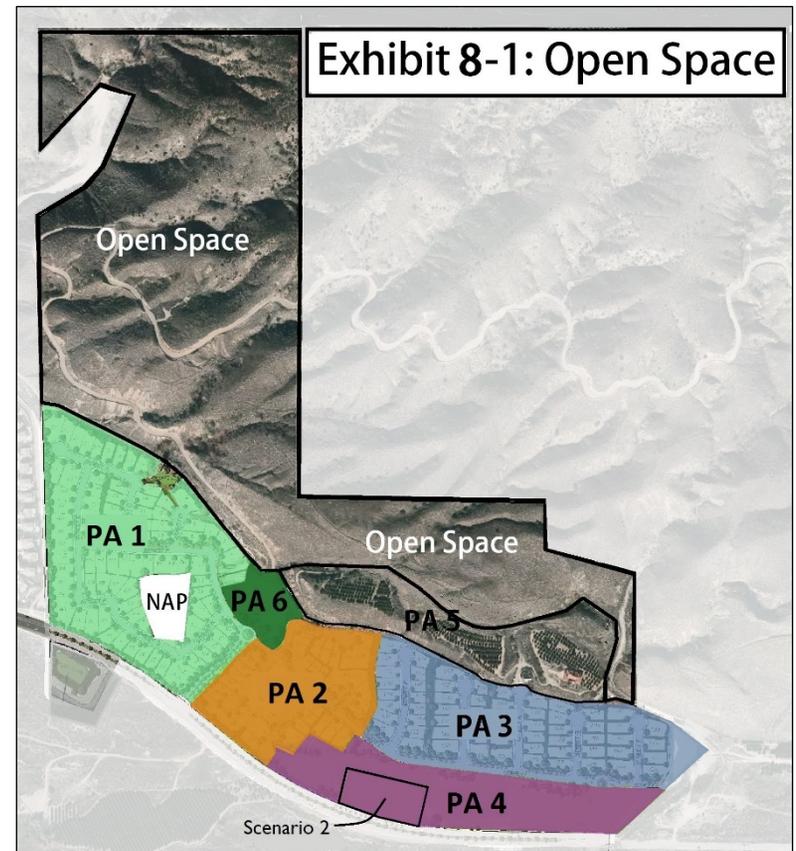
Chapter 5 of the City’s General Plan (Conservation and Open Space Element) further states the following about its Scenic Resources:

“Highland enjoys a beautiful and dramatic setting at the base of the San Bernardino Mountains. The views and vistas that this area affords are among Highland’s most treasured assets and contribute greatly to its rural, natural character. Although the City does not regulate private views, it has long realized the importance of view corridor planning in both public and private development. Preserving views of the San Bernardino Mountains and stretches of open space along City Creek and the Santa Ana River will continue to be very important to creating and maintaining a sense of community in Highland. View preservation also includes careful regulation of hillside development by encouraging low profile massing and natural colors and building materials.”

The mountain backdrop which is mostly in its natural state, with the occasional dirt road, trail, or water reservoir, gives the East Highlands area much of its character and sense of place. The northern portion of the Plan area contains hilly terrain that rises to join the San Bernardino National Forest. The conservation of that open space is important to the quality of life of community residents and the overall character of the City. Limiting development to the lower reaches of the property, already modified by citrus operations, means a large portion of the natural hillside can be saved as a scenic backdrop and for passive outdoor activity purposes.



Hillside Open Space above East Highlands



8-2: MediTrails

Multi-Use Trails are a high priority to the City of Highland for their functionality and wide range of use by the general public. The Mediterra Community enjoys the geographic and locational advantages that allow the implementation of significant portions of the City’s Multi-Use Trails Master Plan.

The City of Highland General Plan emphasizes the importance of the trail system and use by community residents as follows:

“Trails and equestrian use have a strong tradition in Highland. In early days of the City’s development, citrus crops were pulled by horses along an extensive system of dirt roads. The proximity of the mountains, rovers, and open space has made equestrian, hiking and biking use both popular and practical. The view afforded from area trails and bikeways are some of the finest in the region. An accessible trail system not only promotes exercise, but also links community facilities and neighborhoods together. Successful implementation of the Multi-Use Trails Master Plan depends on strong community support, careful planning and consistent funding.”

The integration of trails in the Mediterra Plan as a functional social and recreational element is a significant boost to the City of Highland’s vision for Multi-Use Trails and a great opportunity to implement a large portion of its Multi-Use Trails Master Plan (Exhibit 5-2: figure 5-6 Multi-Use Trails, Conservation and Open Space Element of the City of Highland General Plan – Exhibit 8-2 of this Plan).

The Mediterra Plan contains two Multi-Use Trails distinct in their location, grade, improvements, proximity to the community, and potential uses. Improvement of the North Fork Trail and access to the Hillside Trail are incorporated in the Mediterra Plan as described in Sections 8-2.a and 8-2.b respectively and as shown in Exhibit 8-3: Trails, Parks and Recreation.

An internal “Paseo Ramblas”, described in Section 8-3.c and shown in Exhibit 8-3, provides a central connection within the community, directing pedestrians to these two important regional Multi-Use trails.



City of Highland Annual Trails Day Event,
October 15, 2005; May 3, 2014; April 18, 2015...



Exhibit 8-2: figure 5-6 Multi-Use Trails of the General Plan

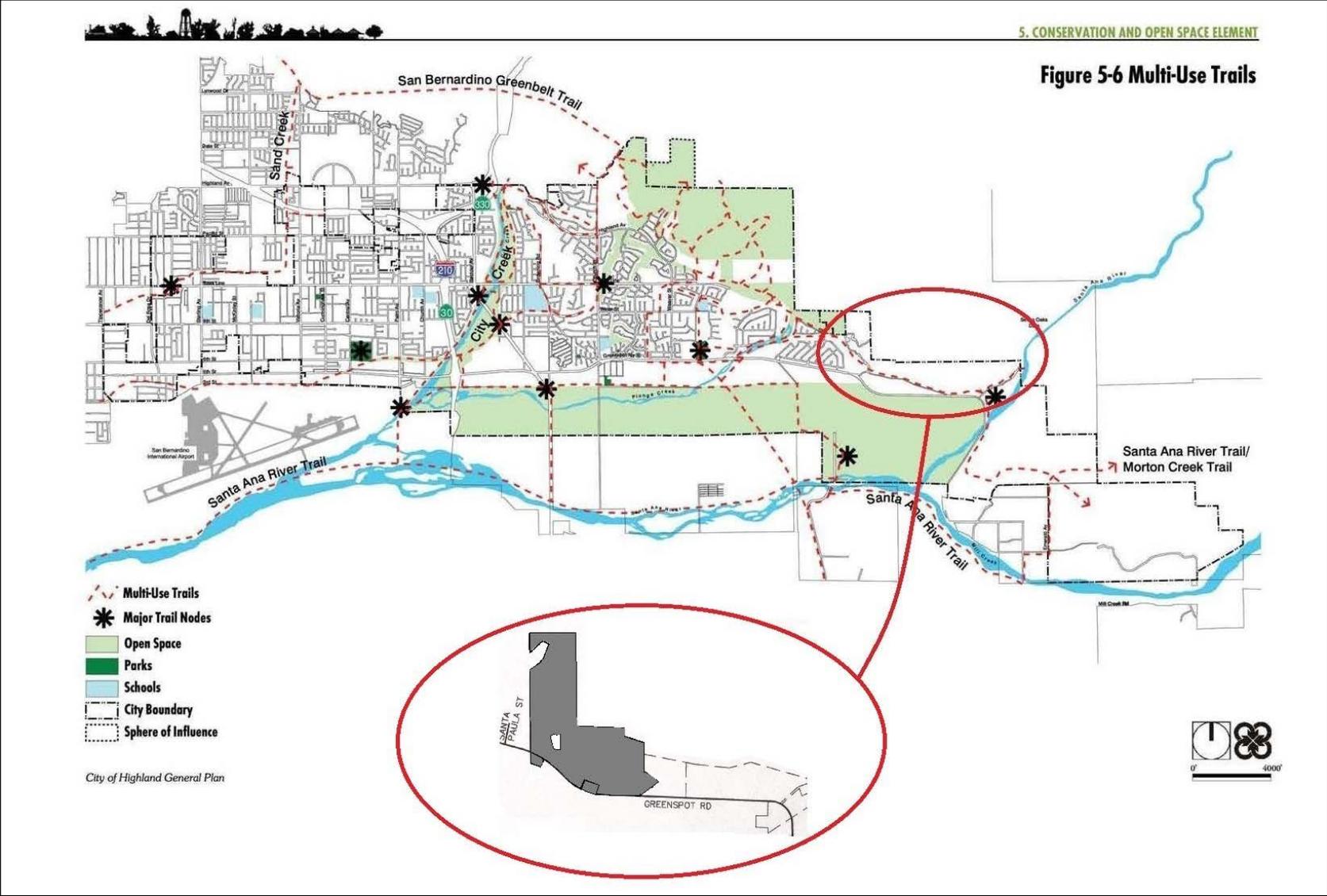


Exhibit 8-3: Trails / Park and Recreation



8-2.a: North Fork Trail

The North Fork Ditch made its first cut through the land in the late 1800's bringing water to the area for citrus farming. Large portions of the ditch had been removed and replaced over the years with segments staying in use until 2007 when the East Valley Water District replaced the aging ditch with a new 39-inch pipeline. The new pipeline traverses the property along an old grove maintenance road which also provides access to the existing estate residence and the hillside. The alignment of the road will be preserved and will be improved with a decomposed granite section and with asphalt pavement to function as a Multi-Use Trail for recreational and equestrian purposes and for fire protection, mostly occurring along the northerly edge of the community neighborhoods (Exhibit 8-3).

The North Fork Trail also traverses the neighborhood park where it connects to the Hillside Trail described in Section 8-2.b. The North Fork Trail continues along the northerly edge of Planning Area 1, connecting to Pine Park and then to an existing trail that leads to the existing community to the west. Public access to the North Fork Trail will be provided for pedestrians and cyclists, while vehicular access would be limited for the Fire Department, emergency response, and maintenance vehicles.

The North Fork Trail is expected to draw users from the Mediterra community and the existing neighborhoods to the west. The flat grade, relative to the steeper and more rugged Hillside Trail described in section 8-2.b, and the diversity of uses will make this amenity a frequented leisure and exercise option for the community. Walking, jogging, and bike riding are the main uses for the trail, with availability for equestrian use as well.

The North Fork Trail is consistent with the alignment of the Multi-Use Trail shown on Exhibit 5-2: Figure 5-6 Multi-Use Trails of the City of Highland's General Plan for the section traversing the Mediterra Plan area as shown on Exhibit 8-2 of this Plan.



View of the existing condition (top) and the improved condition of the North Fork Trail (bottom). The trail will also provide access to maintenance vehicles and the Fire Department if deemed necessary.



8-2.b: Hillside Trail

The existing dirt road along the open space area north of the Mediterra community is shown on the Motor Vehicle Use Map – San Bernardino National Forest by the U.S. Forest Service as Road 1N16 and is “Open to Highway Legal Vehicles”. This access to the Hillside above Mediterra is also known as Alder Creek Road and provides access to agencies like the Forest Service, the Corps of Engineers, and the Fire Department. This road is several miles long traversing the hills and providing access to natural parks and open space. The City’s Multi-Use Trails Master Plan does not show the Alder Creek Road as a part of the desired City trails system. The Mediterra plan incorporates access to this road for its current uses by the general public and as a Hillside Trail with connection to the City of Highland’s trails system (Exhibit 8-4). The entrance will be highlighted with a split rail fence as conceptually shown on Exhibit 8-5: Conceptual Mediterra Park Plan. The remainder of the dirt road and trail will remain in their current condition.

The Hillside Trail will be a more challenging course to take than the flatter and more local North Fork Trail. The trail climbs steep terrain switching back and forth around the mountains and canyons with stretches along the face of a steep hill or a ridgeline. The trail continues for many miles beyond the City limits offering a great opportunity for connection with nature and spectacular views of the valley below. Within approximately three miles from Mediterra the trail bypasses the Seven Oaks dam, to continue heading north where it connects with another trail that starts at the East Highlands Ranch at the end of Van Leuven Lane. Several more miles to the north takes hikers past the Old City Creek Road and eventually to Highway 330.



Exhibit 8-4: Hillside Trail



Aerial view of the Hillside Trail traversing the Open Space north of East Highlands with the approximate limits of the Mediterra Planned Community



8-3: Parks and Recreation

Goal 5.10 of the Conservation and Open Space Element of the General Plan calls for the development of recreational opportunities within the Greenspot area with parks and recreational opportunities that meet the needs of all segments of the community. Some of the stated policies call for the inclusion of a variety of activity options, including active and passive uses, and for the connection of newly developed parks, wherever practical, to the existing and future bicycle and recreational trail systems.

The East Highlands community enjoys the fortunes of having natural resources that play a significant role in the community character and attractiveness. One of the priorities of the Mediterra Plan is to capitalize on these resources and to implement ways to emphasize them, highlight them, and put them within reach for enjoyment by community residents. Mediterra is designed to enhance and capitalize on the existing stock of assets with open space accessibility for hiking and outdoor opportunities.

Also, the Mediterra Plan provides amenities that relate naturally to the land. The Mediterra site plan promotes a healthy lifestyle, connections with the environment, and an inviting way to get out and meet other community residents. The Plan integrates a pedestrian network with connection to existing and proposed community elements, anchored by a local park with attractive and usable features. The recreational network includes components that provide opportunities for movement, aesthetic diversity, recreation, exercise, and social connectivity.

Mobility and the opportunity to get out to a local park or to be involved in an outdoor activity are some of the most desirable community amenities for homebuyers. Awareness about health concerns and obesity rates is increasing. Communities that provide such amenities that promote a healthier lifestyle are becoming increasingly sought-after. The Mediterra site planning promotes this kind of a healthy lifestyle by providing desirable amenities with active and passive uses. Therefore, emphasis is placed on internal pedestrian circulation with connectivity between the different neighborhoods, the community amenities, and the open space.

Following are the recreational components of the Mediterra Plan that adhere to and implement the City of Highland's General Plan goals and objectives.



8-3.a: Mediterra Park

This local park is centrally located and serves as the recreational anchor to the community with visibility and access to all neighborhoods. It also provides an easy connection to the open space and other outdoor and landscape features.

The park is positioned at the main entrance of the community, at the terminus of Mediterra Parkway, a wide and well-appointed gateway into the community. Mediterra Parkway leads to a roundabout at the south of the park adding a unique circulation and landscape feature while maintaining vehicular movement at a controlled pace. The location enhances the sense of arrival to the community with openness and greenery. This also elevates the visibility of the park and provides a constant reminder of the recreational and social amenities of the community.

Access from vehicles is also provided along the south-west perimeter with Avenida Ramblas and to the east of the park. The Paseo Ramblas described in section 8.3.c is ideal for pedestrian mobility and connectivity to the Park from the adjacent neighborhoods, making it inviting and easy for community residents to access.

The Park will be designed to be functional and to be of maximum possible use by surrounding neighborhood residents. Functionality and attractiveness of the Park features are key ingredients to the success of this amenity which provides a host of social and recreational opportunities.



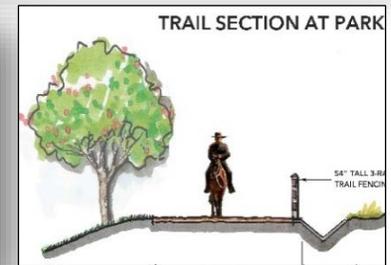
8-3.a1: Mediterra Park Components

The main intent of the Mediterra Park is to serve the recreational needs of Mediterra’s neighborhoods with ease of accessibility. The park will function as a gathering place for local neighbors and visiting families and friends. Only features of high desirability for use by local residents are included in the park.

The Mediterra Park will be designed and built by the community developer with approval by the City of Highland and includes a combination of the following features:

- Open Grass Play Area.
- Walking and jogging path for continuity of the Paseos and trails that traverse the community.
- Well Defined Access point to Multi-Use Trails with Split Rail fencing at entry point.
- Signage that is visible, functional, and compatible with the community theme.
- Picnic areas with tables, seating, and barbecues.
- Tot lot / Play Structure.
- Bicycle Racks.
- Security Cameras with link to Police Department.

These park improvements will be maintained by LMD, Maintenance CFD, HOA, or a combination thereof subject to approval by the City of Highland.



8-3.a2: Community Recreation Area

Additionally the Mediterra Park will feature a fenced Community Recreation Area that includes a combination of functional features such as:

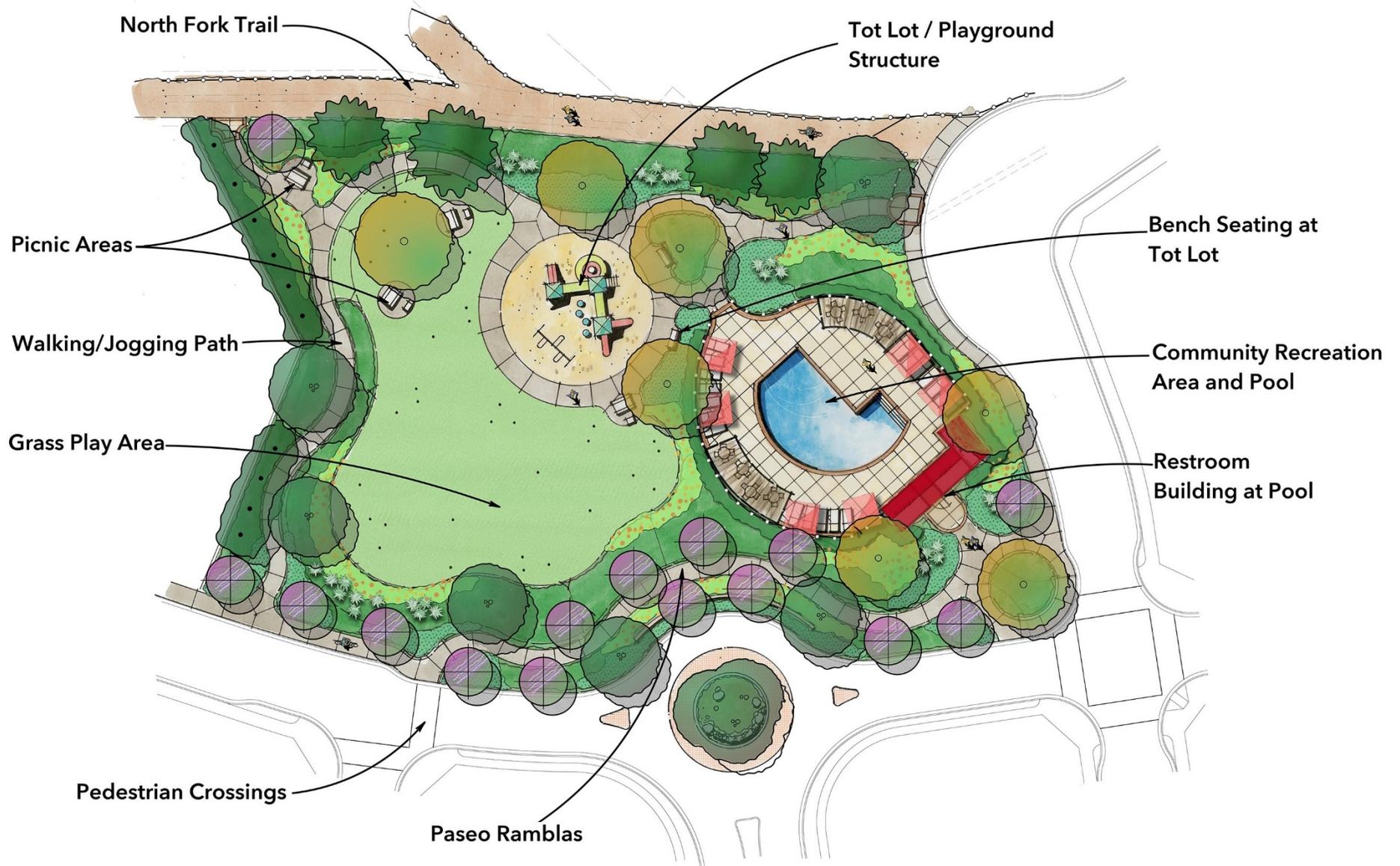
- Controlled points of access for community residents with gates and fencing.
- Swimming pool and sun deck.
- Restroom building compatible with the community's architectural theme with equipment space.
- Gazebo, trellises, or arbors for shade with seating benches.
- Raised planters with seat walls.
- Evergreen privacy tree and shrub screening.
- Lighting with orientation away from the residential units and sufficient for night time visibility and safety.
- Tables and chairs.
- Barbecue facility with adequate interface with gathering areas and pool use.
- Specimen trees.
- Site furnishings including trash receptacles, umbrellas, drinking fountain, etc.



The Community Recreation Area will serve all of Mediterra and will be maintained by a master HOA. The placement of this highly desirable amenity at the Mediterra Park is a superior alternative to the placement of a separate recreation area within PA 4. This approach makes Mediterra Park a central recreation and outdoor anchor for all Mediterra residents to frequent and reduces the need for swimming pools in private back yards on conventional lots.



Exhibit 8-5: Conceptual Mediterra Park Plan



8-3.b: Pine Park

The plan preserves a cluster of mature pine trees at the westerly portion of the Mediterra Community that has occupied the space for many years. An outdoor use area will be located there capitalizing on the size and wide canopy of the pine trees that shades the space below. This area, combined with the linking trails will be approximately 0.5 acres in size. It will be designed for use by neighborhood residents and trail users. Improvements to the park could include:

- Seating benches and decomposed granite ground treatment for ease of use, stability, and durability.
- Pruning of the pine trees to a desirable height above ground for safety and enhancement of visibility into and from this elevated spot of the community.
- Access from a fronting local street and from the North Fork Trail to make it inviting for local residents and trail users.
- Drought tolerant landscaping where needed.
- Access to and extension of North Fork Trail



View from Pine Park through mature pine trees
looking west



8-3.c: Paseo Ramblas

Paseo Ramblas is designed as a linear park to promote pedestrian mobility and exercise by community residents. The Paseo encourages comfortable group walks, jogging, bike riding and access to trails and recreational destinations. Walkability and pedestrian safety is encouraged at logical connections where chicanes are provided to emphasize pedestrian crossing opportunity. Traffic calming measures along Avenida Ramblas are also helpful in raising the awareness of the Paseo and other community amenities.

The Paseo will have a high degree of functionality and use as walking and jogging are increasingly becoming a preferred type of exercise and connectivity activities in residential neighborhoods.

The Paseo will also feature par course and fitness stations to further elevate the function of this community element to a liner park augmenting the community's outdoor draw with opportunity for exercise, workout and healthy living without the need for gym membership. The fitness stations are comprised of isometric gym equipment manufactured specifically for neighborhood parks and outdoor use. They are designed to be durable, vandal resistant, and they are appropriate for all fitness levels. The equipment can be used for both strength training and aerobics, using only a gravity-and-resistance weight system and employing the user's own body weight to engage different muscle groups. Fitness stations are designed to make the residents of the community healthier. The equipment can also be fitted with panels that include usage instructions, general nutrition information, and healthy eating guidelines. The par course and fitness stations are intended for use by a wide range of community residents, typically from the age of 13 and above.

Paseo Ramblas functions as a linear park traversing the community from end to end with ease of access from all neighborhoods (Exhibit 8-3).



Chapter 9: Streetscape and Fencing

9-1: Goals and Objectives

The goal of the landscape design is to provide the unifying element between the neighborhoods, and to insure cohesiveness with the surrounding area of natural hills and existing neighborhoods. This is accomplished through open space and other common area opportunities like parks, trails, landscaped parkways and paseos to achieve the community landscape design goals. Landscaping is an important complement to the community design; the selection of tree and shrub material shall complement the architectural theme and further enhance the character of the overall community. A common landscape theme assists in creating a sense of place and provides attractive spaces to enjoy, relax, congregate, and participate in recreational activities. Landscape areas provide a sense of beauty and openness, and enhance the overall community feel. The plant materials used within the Mediterra Community shall follow the following criteria:

1. Compatibility with the architectural theme and styles called for by the plan with Mediterranean origin and California interpretation like the Spanish Colonial and Monterrey Spanish architectural styles with a palette that is appropriate for the area's climate and soil characteristics.
2. Utilization of plant species in existence in the general area of the Mediterra Community, especially when compatible with the architectural and landscape theme. Landscaping materials shall be chosen in a manner to make the new community compatible with the surrounding environment and the landscape palette suitable for the geography and topography of the land.
3. Landscape design shall integrate and conceal utility vaults, and other such features as much as possible and as allowed by the respective utility or controlling agency.

The specific plant selection for the Mediterra site should be developed by the community's landscape architect with more attention to architectural detail, final site planning, house orientation, and input from the City of Highland on park design and other common and public areas. Table 9-1: Landscape Palette lists tree, shrub, and ground cover planting material options for the different streets and open space areas of the community.



9-2: Streetscape Design

The streetscape design should emphasize esthetics as well as public safety by avoiding planting density and height that become a hindrance to public safety. The selection of the tree type to be planted between curb and sidewalk should be made in a manner that avoids long term maintenance and safety problems. Such areas should be planted with accent trees for color and human scale and with the least invasive root system possible. Lawn areas should be limited to active recreation areas only. Encourage the planting of ground cover or low shrubs with the use of native rocks, whole and crushed, where practical. Indigenous materials such as rocks and boulders should be considered for logical placement in parkways and other open space areas where limited access is intended and in areas that are not meant for recreational purposes.

Following are descriptions of the Streetscape Design and Exhibit 9-1: Streetscapes for the main streets at Mediterra.

9-2.a: Greenspot Road

The landscape palette for Greenspot Road shall be consistent with the frontage along the existing neighborhoods for compatibility and continuity. The Landscape Architect and City Staff may implement certain adjustments to better serve the community and reduce maintenance intensity.

Greenspot Road has a 12-foot parkway including a curb adjacent 5.5-foot wide parkway and a 5-foot wide continuous sidewalk. Beyond the 12' parkway, a landscape setback of varying width occurs where downslope conditions occur from the adjacent home lots. In all cases, a minimum of five feet of landscape area shall be provided between the sidewalk and perimeter wall. The design of the parkway along Mediterra's frontage will follow existing segments of Greenspot Road west of Mediterra. In the center of Greenspot Road is a proposed 12-foot raised landscape median which will separate the west and east bound traffic.



9-2.b: Mediterra Parkway and Terraneo Parkway

The main entries into Mediterra are intended to provide a pleasant sense of arrival starting at Greenspot Road and ending at the roundabouts with Avenida Ramblas. Each side of the main entry roads has a 16-foot parkway with a 6-foot curb-adjacent parkway, a 5-foot sidewalk, and a 5-foot wide landscape planter at the back of the sidewalk. The 6-foot wide parkway provides space for street tree planting to define the theme of the community gateway. The 5-foot planter at the back of the sidewalk will provide space for Mediterranean shrubs and vines to soften the visible perimeter walls. These tree-lined streets are intended to create a long linear canopy and a pleasant first visual impression of the community. The 8-foot raised and landscaped median and the wider parkways create an uninterrupted and well-articulated corridor into the community with a view of the park at Mediterra Parkway and the rising hillside backdrop. The plant material shall be selected from the Plant Palette provided in Table 9-1.

9-2.c: Avenida Ramblas

Avenida Ramblas is designed for traffic and for pedestrian movement. One side has a parkway design consistent with local streets with a 6-foot wide sidewalk adjacent to curb in a 7-foot wide right-of-way. On the other side there is a 17-foot parkway including an 8-foot walk and a 5.5-foot wide curb adjacent planter providing room for shade trees, accent trees, and other plantings. This parkway is referred to in the Plan as Paseo Ramblas for its inviting movement and recreational qualities. The Paseo dimensions are set with a balance between openness and human scale to provide a comfortable and safe feeling a Paseo user typically seeks. The sidewalk is separated from the curb with a planting area for the majority of the road's length. Where the street fronts residential lots the sidewalk is placed adjacent to the curb consistent with the local street design. The landscape appeal is a major contributor to the residents' decision to get out and use the common areas. The landscape design shall take into consideration the massing, location, type, and other factors in articulating this inviting feature of the community.



The Landscape Palette shall incorporate compatible Mediterranean and indigenous plant materials fitting of the theme, climate, and setting of the community.



9-2.d: Local Streets

The narrower neighborhood street right-of-way creates a sense of scale that is more suited to the individual than to the larger community. The landscape character of the local street is defined by the planting of front yard accent trees, shrubs, and ground cover. The planting of front yards shall be compatible with the architectural styles of the neighborhood. The front yard planting shall incorporate street trees to provide a canopy over the front yard and the sidewalk. Corner lots siding to a local street shall have a planting separation between the privacy side wall and the street sidewalk.



Exhibit 9-1: Streetscapes

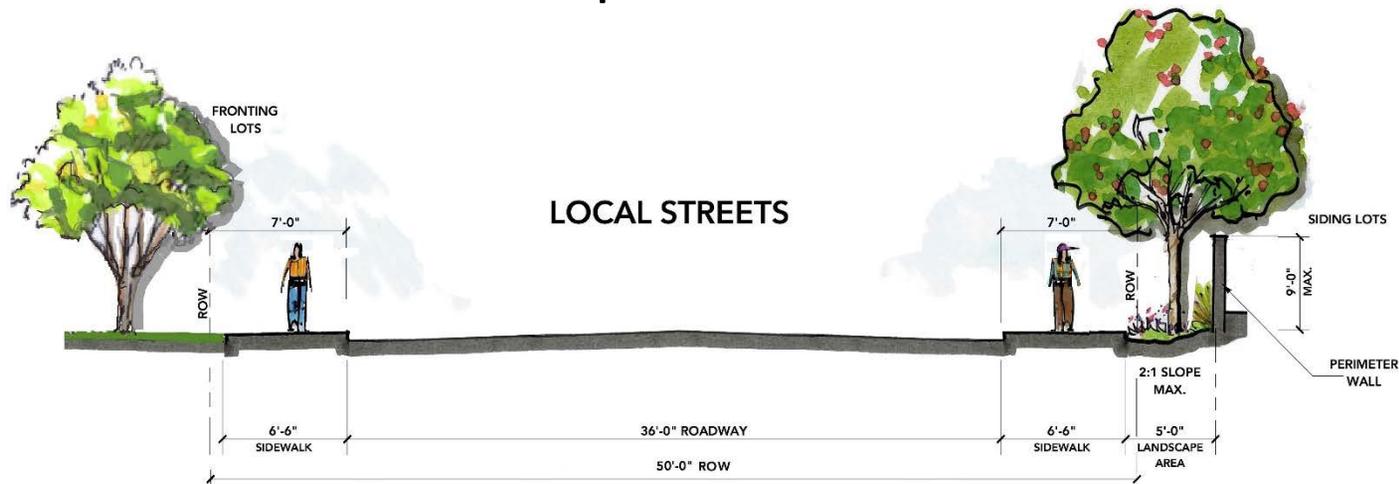
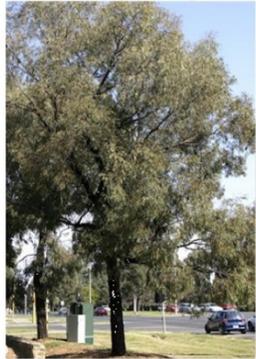


Exhibit 9-1: Streetscapes

GREENSPOT ROAD



Evergreen Upright Tree
Eucalyptus s. 'Rosea' - Red Ironbark



Deciduous Flowering Theme Tree
Lagerstroemia i. 'Tuscarora' - Tuscarora Crape Myrtle



Deciduous Flowering Theme Tree
Lagerstroemia i. 'Tuscarora' - Tuscarora Crape Myrtle

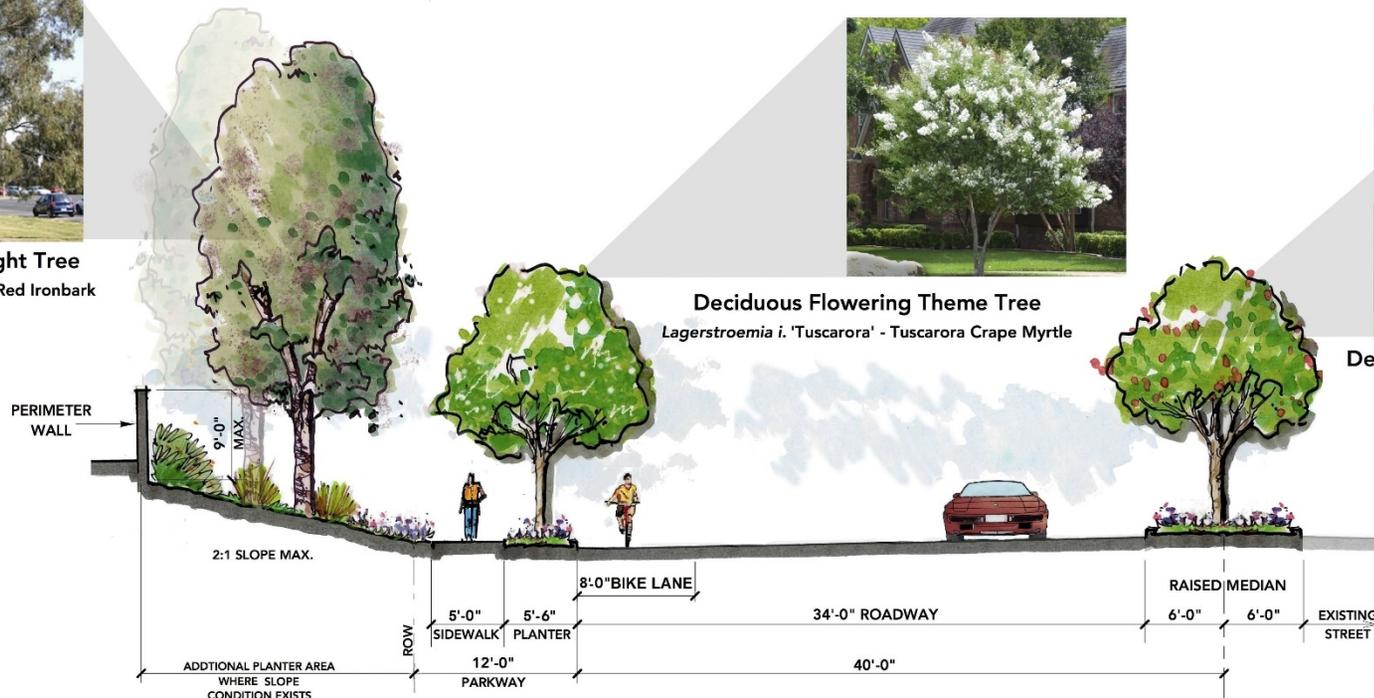
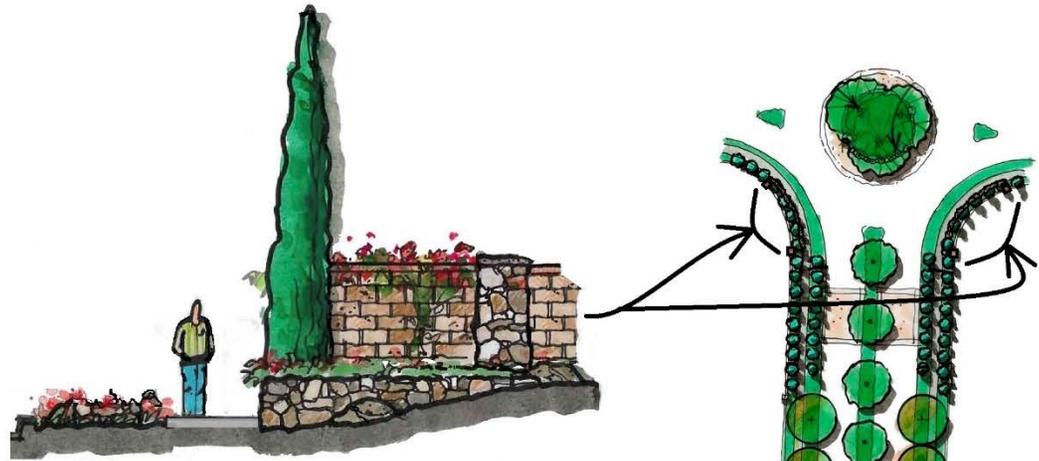


Exhibit 9-1: Streetscapes

MEDITERRA PARKWAY AND TERRANEO PARKWAY DETAILS



LOW STONE RAISED PLANTER
AT ROUNDABOUT/INTERSECTION OF
MEDITERRA PKWY / TERRANEO PKWY AND
AVENIDA RAMBLAS



Specimen Evergreen

Theme Tree
Quercus suber - Cork Oak



LOW STONE WALL AT
MEDITERRA PKWY / TERRANEO PKWY AND GREENSPOT RD



Exhibit 9-1: Streetscapes

MEDITERRA PKWY AND TERRANEO PKWY

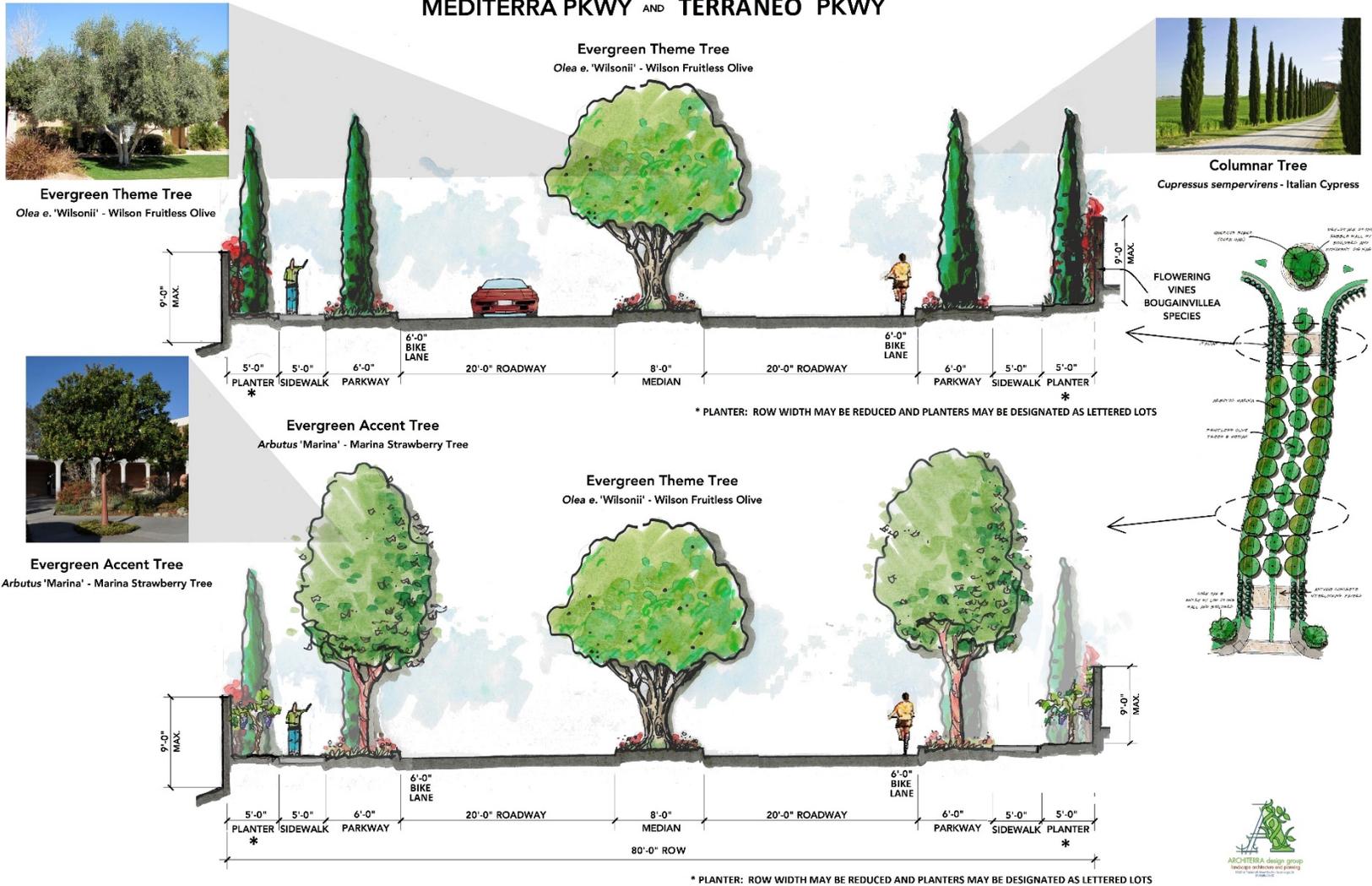


Exhibit 9-1: Streetscapes

INTERSECTION OF MEDITERRA PKWY/ TERRANEO PKWY AND AVENIDA RAMBLAS

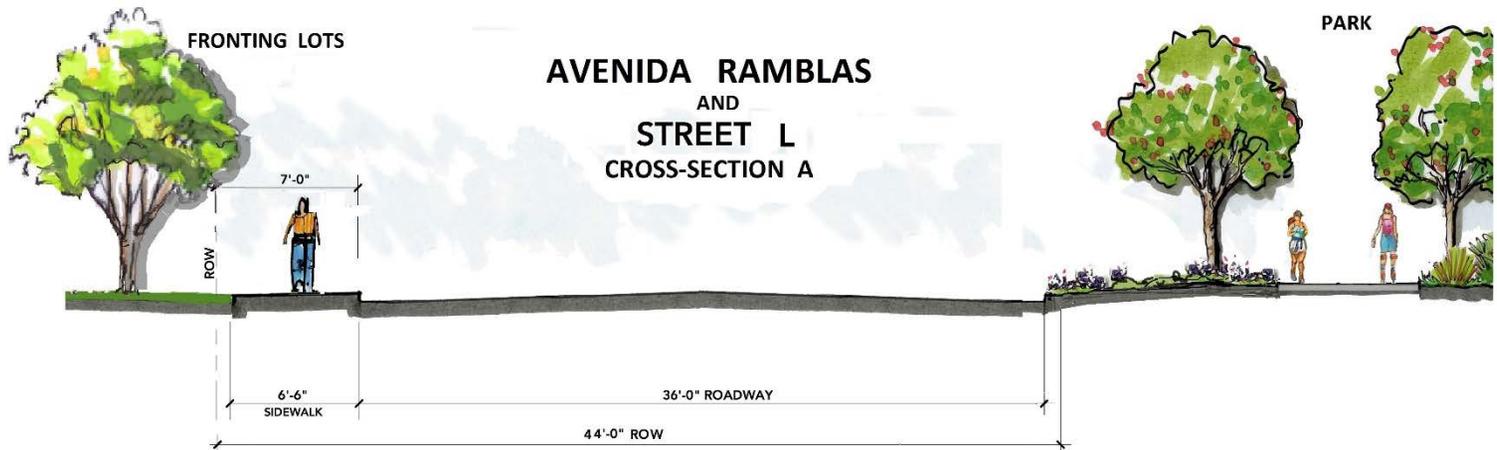
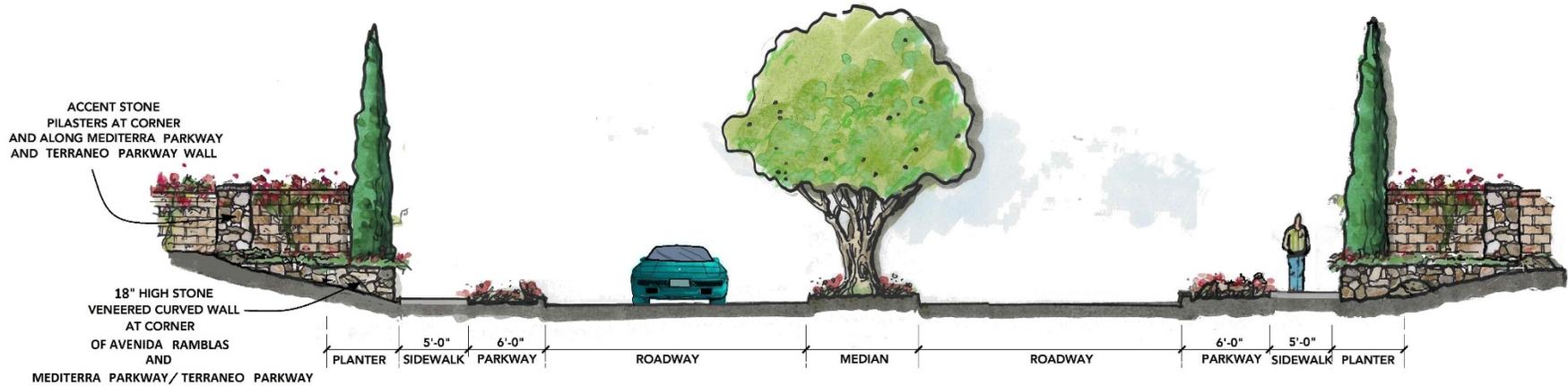
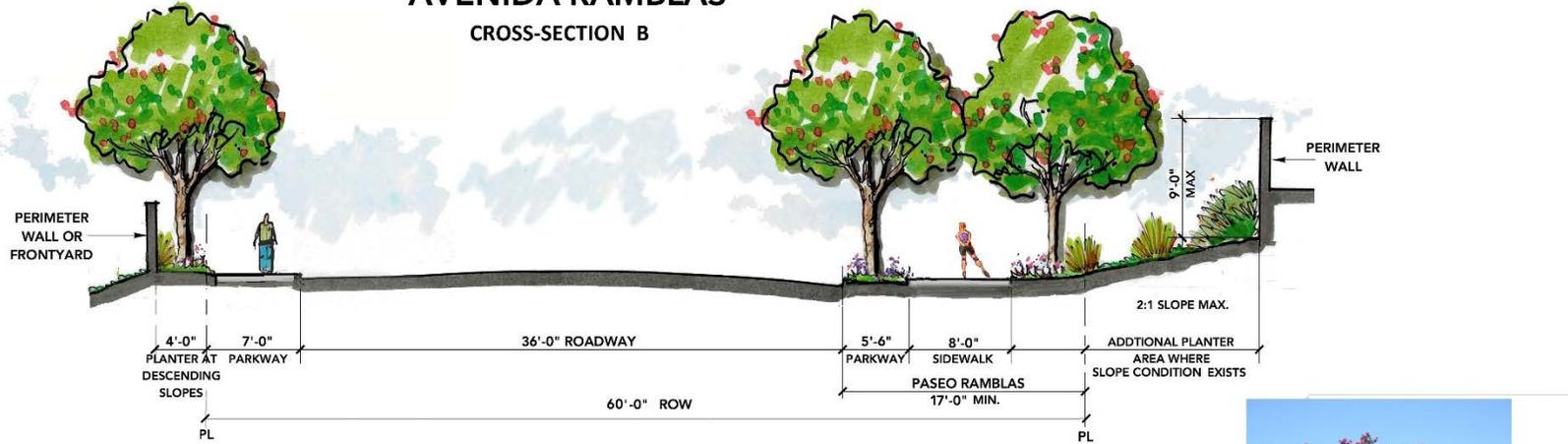


Exhibit 9-1: Streetscapes

AVENIDA RAMBLAS CROSS-SECTION B



Deciduous Flowering Theme Tree
Lagerstroemia i. 'Tuscarora' - Tuscarora Crape Myrtle

AVENIDA RAMBLAS CROSS-SECTION B

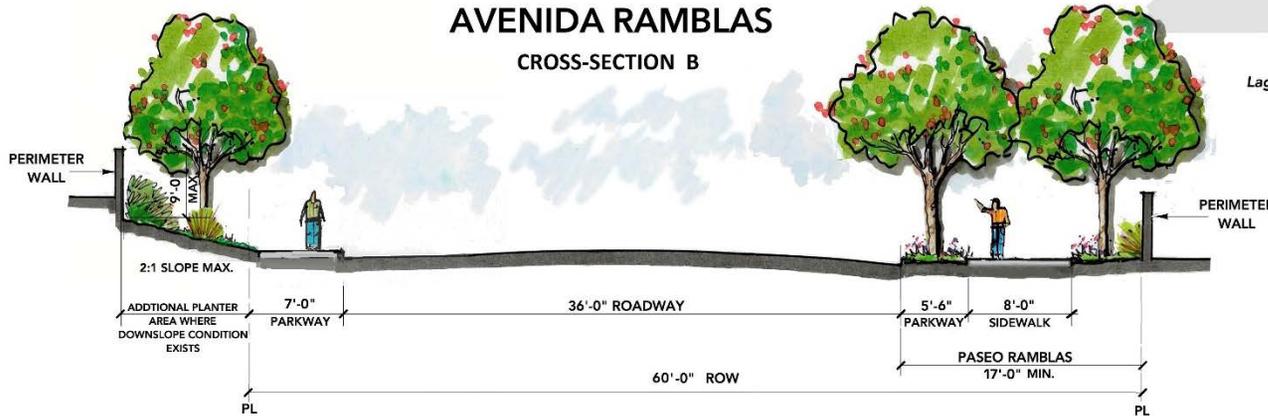
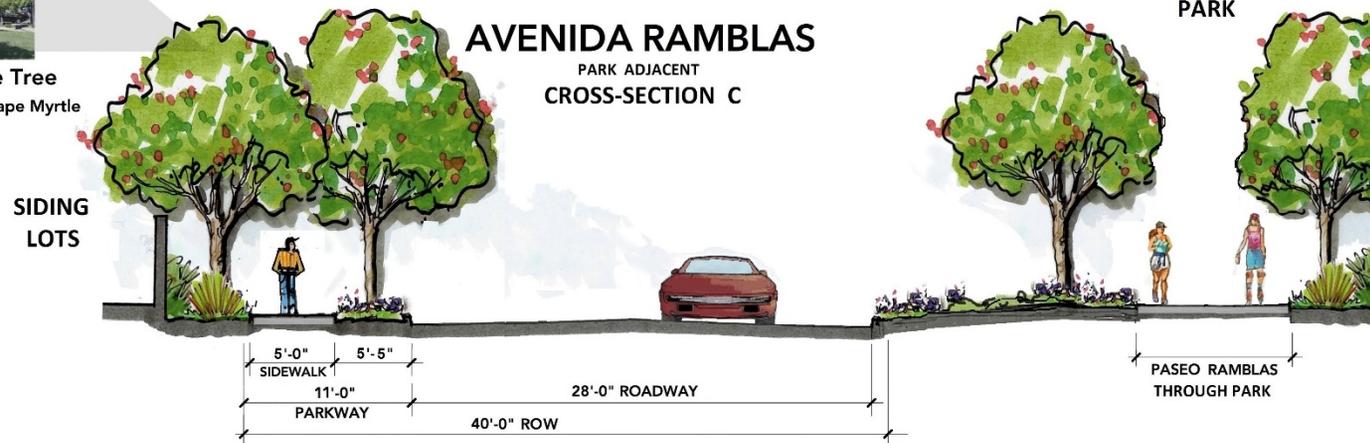


Exhibit 9-1: Streetscapes



Deciduous Flowering Theme Tree
Lagerstroemia i. 'Tuscarora' - Tuscarora Crape Myrtle



9-3: Fencing

The walls and fences at Mediterra will be designed to further enhance the community theme, architecture, and landscape. Masonry walls may be constructed from split-face block for the side facing common or public areas, or with smooth finish stucco with a decorative cap, as a way of example. The final design shall be harmonious with the final architectural design for the homes, and shall be used consistently throughout the community for a unified theme. Long wall stretches such as along Greenspot Road shall include occasional offsets in the alignment to augment the visual value of the wall.

Tubular steel fencing may be used in areas where views are deemed to be important or around facilities within the community. Vinyl fencing along common property lines between lots shall be used to define the private open spaces; tubular steel fencing also may be used on lot lines along the rear yard slopes where there is no concern over privacy. Freestanding and retaining combination walls shall be limited to a nine-foot exposed height measured from the lowest finished grade to the top of the wall.

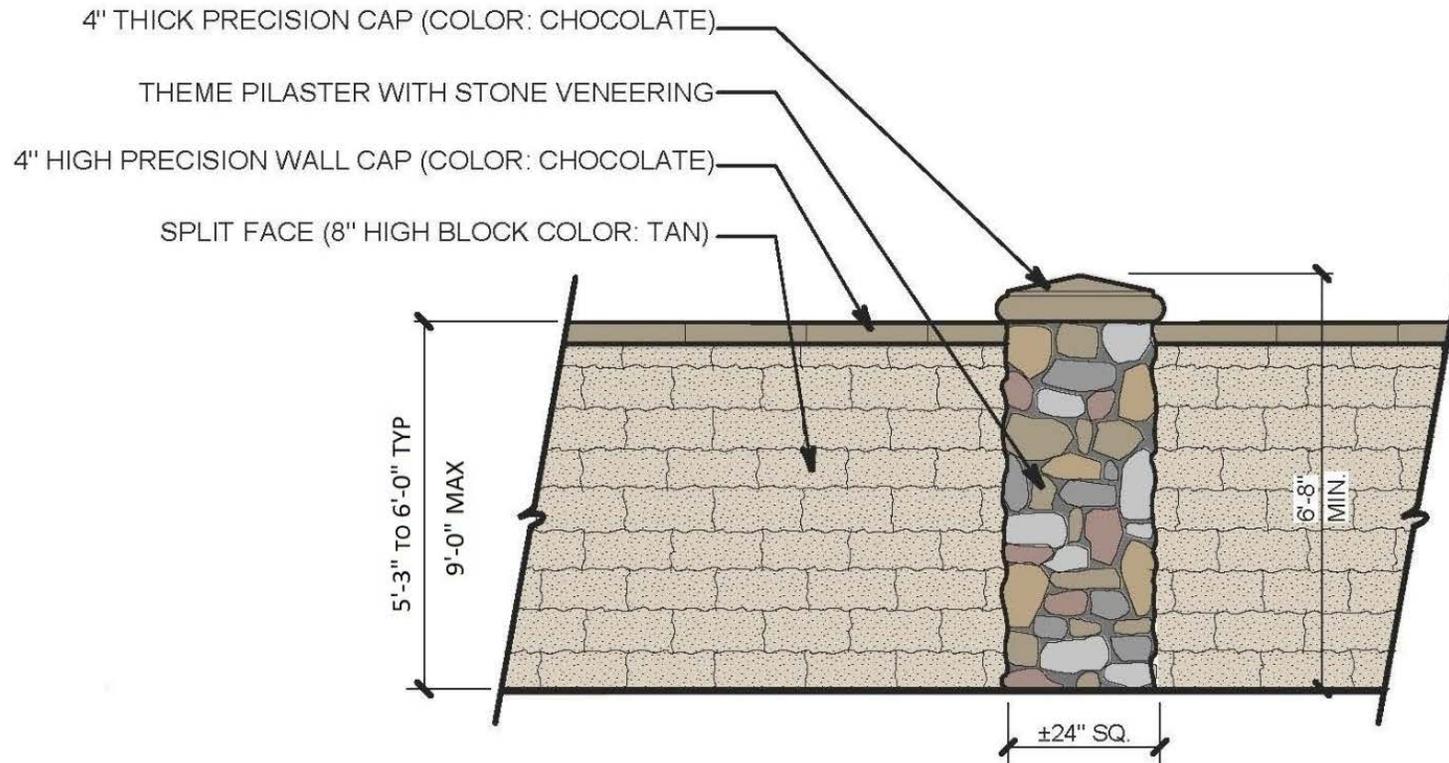
Following are details of the different types of fencing for the Mediterra community.



A selection of perimeter and interior walls found across Southern California with Mediterranean influence.



Exhibit 9-2: Fencing Details

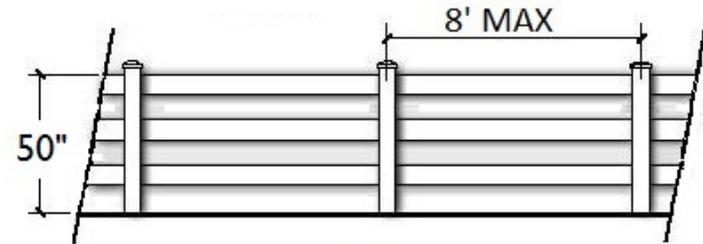


PERIMETER THEME WALL AT GREENSPOT ROAD AND MEDITERRA PKWY / TERRANEO PKWY

SPLIT FACE BLOCK WALL WITH ACCENT PILASTERS SET
±100'-150' ON CENTER



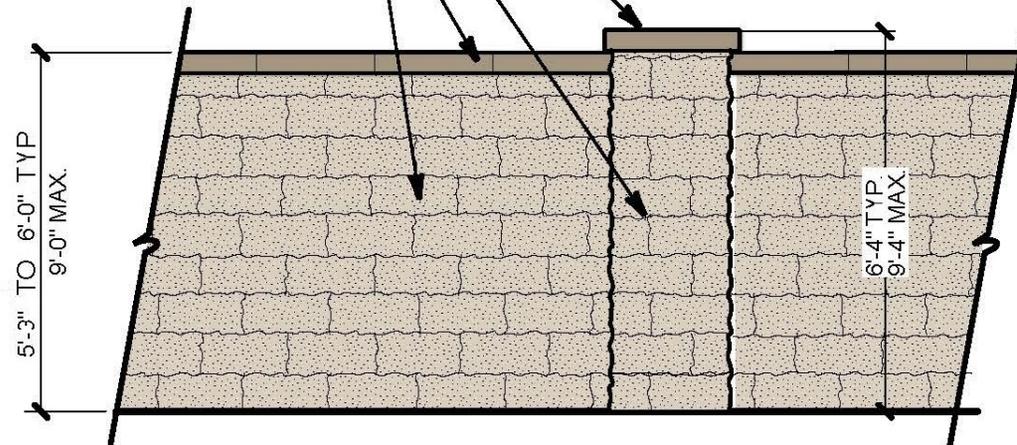
Exhibit 9-2: Fencing Details



PVC TRAIL FENCING

Per City Standard Drawing No. 504 - PVC RAILING

- 4" THICK PRECISION CAP (COLOR: CHOCOLATE)
- SPLIT FACE 16" SQ. BLOCK (COLOR: TAN)
- 4" HIGH PRECISION WALL CAP (COLOR: CHOCOLATE)
- SPLIT FACE (8" HIGH BLOCK COLOR: TAN)

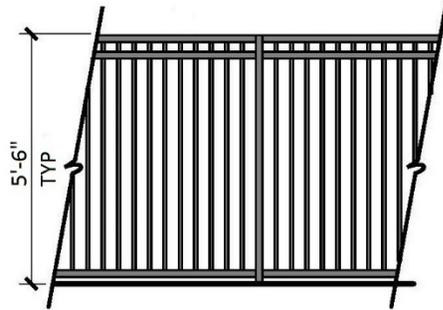


INTERIOR THEME WALLS AT AVENIDA RAMBLAS

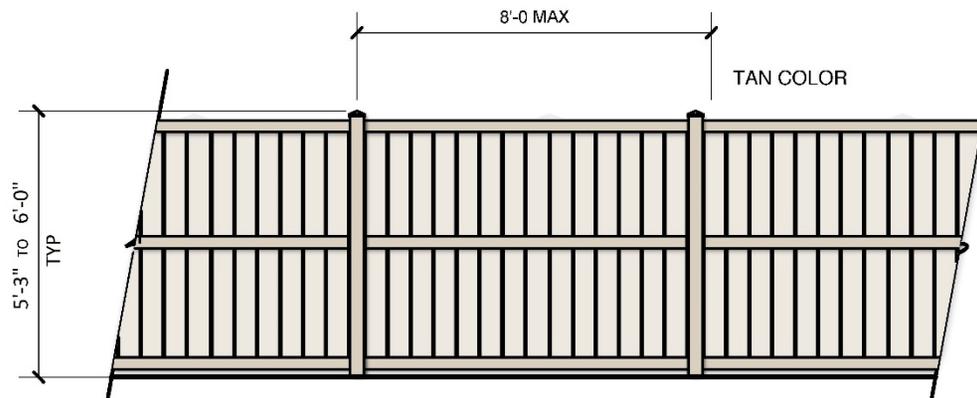
SPLIT FACE BLOCK WALL AND ACCENT PILASTERS
 SET AT CORNERS AND FRONT OF LOT WALL RETURNS



Exhibit 9-2: Fencing Details



TUBULAR STEEL VIEW FENCING



INTERIOR PROPERTY PVC FENCING

PVC FENCING WITH PVC POSTS

Applicable at property lines between private lots and at the house return crossing side yards



Table 9-1: Landscape Palette

Botanical Name	Common Name	Estimated Water Use	Mediterra & Terraneo	Avenida Ramblas	Park Zone	Frontyard Landscape	Open Space Zone	Interior Slopes
TREES								
<i>Arbutus unedo</i>	Strawberry Tree	L	✓		✓	✓		
<i>Cedrus deodora</i>	Deodar Cedar	M			✓	✓	✓	
<i>Cerasifera</i> 'Krauter Vesuvius'	Leaf Plum	M				✓		
<i>Cercis c.</i> 'Forest Pansy'	Western Redbud	L				✓	✓	✓
<i>Chitalpa tashkentensis</i>	Chitalpa	L				✓		
<i>Cinnamomum camphora</i>	Camphor Tree	M			✓	✓	✓	
<i>Cupressus sempervirens</i>	Italian Cypress	L	✓					
<i>Eucalyptus citriodora</i>	Lemon Scented Gum	L	✓					
<i>Ficus rubiginosa</i>	Rusty Fig Leaf	M				✓		
<i>Fraxinus augustifolia</i> 'Raywood'	Raywood Ash	M	✓		✓			
<i>Heteromeles arbutifolia</i>	Toyon	L					✓	✓
<i>Jacaranda mimosifolia</i>	Jacaranda	L			✓	✓		
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	M				✓		
<i>Lagerstroemia indica</i> 'Muskogee'	Muskogee Crape Myrtle	L				✓	✓	✓
<i>Lagerstroemia indica</i> 'Natchez'	Natchez Crape Myrtle	L				✓		
<i>Lagerstroemia indica</i> 'Tuscarora'	Tuscarora Crape Myrtle	L		✓		✓		
<i>Magnolia grandiflora</i> 'Blanchard'	Magnolia	M				✓		
<i>Olea europaea</i> 'Wilsonii'	Wilson "Fruitless" Olive	L	✓		✓	✓		
<i>Phoenix dactylifera</i> 'Majool'	Date Palm	L	✓			✓		
<i>Pinus canariensis</i>	Canary Island Pine	L		✓			✓	
<i>Pinus pinea</i>	Italian Stone Pine	L			✓			
<i>Platanus a.</i> 'Bloodgood'	London Plane Tree	M			✓	✓	✓	✓
<i>Platanus racemosa</i>	California Sycamore	M			✓	✓	✓	✓
<i>Podocarpus gracilior</i>	African Fern Pine	M			✓			
<i>Pyrus calleryana</i> 'Redspire'	Callery Pear	M				✓		✓
<i>Quercus agrifolia</i>	Coast live Oak	L			✓	✓		
<i>Quercus ilex</i>	Holly Oak	L				✓	✓	
<i>Quercus suber</i>	Cork Oak	L	✓		✓			
<i>Sambucus mexicana</i>	Mexican Elderberry	L					✓	✓
<i>Schinus molle</i>	California Pepper Tree	L				✓		
<i>Zelkova serrata</i>	Sawleaf Zelkova	M				✓		



Botanical Name	Common Name	Estimated Water Use	Mediterra & Terraneo	Avenida Ramblas	Park Zone	Frontyard Landscape	Open Space Zone	Interior Slopes
SHRUBS								
<i>Abelia g.</i> 'Edward Goucher'	Glossy Abelia	M						✓
<i>Acacia redolens</i> 'Desert carpet'	Desert Carpet Acacia	L						✓
<i>Agave attenuata</i>	Foxtail Agave	L	✓			✓	✓	✓
<i>Agave gemniflora</i>	Twin-Flowered Agave	L				✓		
<i>Agave shawii</i>	Shaw's Agave	L	✓					✓
<i>Aloe striata</i>	Soap Aloe	L	✓		✓	✓	✓	✓
<i>Anigozanthos flavidus</i>	Kangaroo Paw	L	✓			✓		
<i>Anisodonte</i> 'Tara's Pink'	Pink Hibiscus	M						✓
<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	L				✓		
<i>Archostaphylos</i> 'Pacific Mist'	Pacific Mist Manzanita	L						✓
<i>Baccharis</i> 'Thompson'	Desert Broom	L						✓
<i>Bougainvillea</i> 'La Jolla'	Bougainvillea	L						✓
<i>Bougainvillea</i> 'San Diego Red'	Bougainvillea	L						✓
<i>Buxus m. japonica</i>	Japanese Boxwood	M	✓	✓		✓		
<i>Callistemon</i> 'Little John'	Little John Dwarf Bottle Brush	M		✓	✓	✓		
<i>Carpenteria californica</i>	Bush Anemone	L			✓	✓		
<i>Cistus hybridus</i>	White Rockrose	L	✓		✓	✓	✓	✓
<i>Cistus purpureus</i>	Orchid Rockrose	L		✓	✓	✓	✓	✓
<i>Cordyline australis</i>	New Zealand Cabbage Tree	M		✓		✓		
<i>Coprosma kirkii</i>	Creeping Coprosma	M				✓		✓
<i>Cotoneaster lacteus</i>	Parney Cotoneaster	L	✓			✓		
<i>Dietes bicolor</i>	Fortnight Lily	M	✓			✓		
<i>Dietes vegeta</i>	Fortnight Lily	M		✓		✓		
<i>Dodonea viscosa</i>	Hop Seed Bush	L	✓			✓		
<i>Dodonea viscosa</i> 'Purpurea'	Purple Hop Seed Bush	L		✓	✓	✓		
<i>Echium candicans</i>	Pride of Madera	L	✓		✓	✓	✓	✓
<i>Feijoa sellowiana</i>	Pineapple Guava	L		✓		✓		
<i>Fremontodendron californicum</i>	California Flannel	L				✓	✓	✓
<i>Hemerocallis</i> 'Dwarf Yellow'	Day Lily	M		✓		✓		



Botanical Name	Common Name	Estimated Water Use	Mediterra & Terraneo	Avenida Ramblas	Park Zone	Frontyard Landscape	Open Space Zone	Interior Slopes
SHRUBS CONT.								
<i>Heteromeles arbutifolia</i>	Toyon	L	✓			✓	✓	✓
<i>Ilex vomitoria</i> 'Stoke's Dwarf'	Stoke's Dwarf Yaupon Holly	L				✓		
<i>Lantana</i> 'New Gold'	New Gold Lantana	L						✓
<i>Lavendula angustifolia</i>	English Lavender	L		✓		✓	✓	✓
<i>Lavendula angustifolia</i> 'Hidcote'	Pink English Lavendar	L	✓		✓	✓	✓	✓
<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Ranger	L	✓		✓	✓		
<i>Myrtus communis</i>	Common Myrtle	L				✓	✓	
<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	L	✓			✓		
<i>Nandina domestica</i> 'Compacta'	Dwarf Bamboo	L		✓		✓		
<i>Pennisetum setaceum</i> 'Atropurpureum'	Purple Fountain Grass	L	✓		✓		✓	
<i>Pennisetum</i> 'Bunny Tails'	Bunny Tail Fountain Grass	L		✓				
<i>Phormium tenax</i> 'Atropurpureum'	Bronze Flax	L	✓		✓	✓		
<i>Phormium tenax</i> 'Guardsman'	Guardsman New Zealand Flax	L		✓	✓	✓		
<i>Phormium tenax</i> 'Sunset'	Sunset Flax	L	✓	✓		✓		
<i>Photania x fraseri</i>	Photinia	M	✓			✓		
<i>Pittosporum tobira</i> 'Variegata'	Variegated Tobira	M		✓		✓		
<i>Prunus ilicifolia</i>	Hollyleaf Cherry	L			✓	✓	✓	✓
<i>Rhamnus californicus</i>	Coffeeberry	L			✓	✓	✓	✓
<i>Rhapiolepis indica</i> 'Pink Enchantress'	Indian Hawthorne	M	✓			✓		✓
<i>Rhapiolepis indica</i>	Indian Hawthorne	M		✓		✓		
<i>Rhus integrifolia</i>	Lemonade Berry	L				✓	✓	✓
<i>Ribes speciosum</i>	Flowering Gooseberry	L				✓	✓	✓
<i>Ribes viburnifolium</i>	Evergreen Currant	L		✓		✓		
<i>Rosmarinus o.</i> 'Majorica Pink'	Rosemary	L		✓		✓	✓	
<i>Rosmarinus o.</i> 'Tuscan Blue'	Rosemary	L	✓			✓	✓	✓
<i>Salvia clevelandii</i>	Cleveland Sage	L					✓	✓
<i>Salvia greggii</i> 'Flame'	Furman's Red Autumn Sage	L		✓		✓	✓	
<i>Xylosma congestum</i>	Xylosma	M				✓	✓	
<i>Yucca spp.</i>	Yucca	L	✓		✓		✓	✓



Botanical Name	Common Name	Estimated Water Use	Mediterra & Terraneo	Avenida Ramblas	Park Zone	Frontyard Landscape	Open Space Zone	Interior Slopes
GROUND COVERS								
<i>Acacia redolens</i> 'Desert Carpet'	Prostrate Acacia	L	✓			✓		✓
<i>Archtosaphyllos edmundsii</i>	Carmel Sur Manzanita	L				✓	✓	
<i>Baccharis pilularis</i> cvs.	Dwarf Coyote Brush	L			✓	✓	✓	✓
<i>Bougainvillea</i> 'Rosenka'	Bougainvillea	L	✓			✓	✓	✓
<i>Ceanothus</i> 'Centennial'	Centennial Ceanothus	L		✓		✓	✓	✓
<i>Fragaria chiloensis</i>	Ornamental Strawberry	M		✓		✓		✓
<i>Hernaria glabra</i>	Green Carpet	M				✓		
<i>Isotoma fluviatilis</i>	Blue Star Creeper	M		✓		✓		
<i>Lonicera japonica</i> 'Halliana'	Japanese Honeysuckle	M		✓		✓		
<i>Ophiopogon japonicus</i>	Mondo Grass	M	✓		✓	✓		
<i>Rose</i> 'Flower Carpet Var. Noatraum'	Pink Rose	L	✓			✓		
<i>Rosemarinus o.</i> 'Irene'	Trailing Rosemary	L	✓	✓	✓	✓	✓	✓
<i>Teucrium chamaedrys</i>	Germander	L	✓	✓		✓		
VINES								
<i>Clytostoma callistigioides</i>	Violet Trumpet Vine	M		✓				
<i>Hardenbergia violacea</i>	Lilac Vine	M		✓				
<i>Jasminum polyanthum</i>	Pink Jasmine	M		✓		✓		
<i>Parthenocissus tricuspidata</i>	Boston Ivy	M	✓					
<i>Rosa</i> 'Cecile Brunner'	Cecile Brunner Rose	M	✓	✓				
<i>Rosa banksiae</i>	Lady Banks Rose	M	✓	✓				✓
<i>Vitis californica</i>	California Wild Grape	L	✓		✓			
<i>Wisteria sinensis</i>	Chinese Wisteria	M			✓			
<i>Trachelospermum jasminoides</i>	Star Jasmine	M			✓	✓	✓	✓



9-4: Inspirations for Landscape Palette





Chapter 10: Plan's Consistency with the General Plan

The Mediterra Planned Development Plan provides specific measures for the creation of a desirable residential community with infrastructure improvements, character, design, and amenities by setting the standards and guidelines that implement the City's General Plan goals and objectives. Below is a detailed discussion of the Mediterra Plan's consistency with the applicable goals and objectives of the City of Highland General Plan.

Goal 2.3

Provide a variety of urban, suburban and rural housing opportunities that are adequate to meet the City's share of regional housing needs.

Policies

- 1) Provide a broad range of, and encourage innovation in, housing types that incorporate high quality design and construction.*
- 2) Maintain residential areas that provide for and protect rural lifestyles, and protect natural resources and hillsides in the rural areas of the City.*
- 3) Maintain residential areas that provide for a suburban lifestyle, including ownership of single-family housing.*
- 4) Ensure that new residential development provides appropriate community amenities, including common open space and recreation areas.*
- 5) Continue the innovative use of land resources and development of a variety of housing types and sizes within the City by using the Planned Development designation.*
- 6) Require the preparation of a specific plan, planned unit development, conditional use permit or similar mechanism for residential development within areas designated Planned Development.*
- 7) Require that Planned Development projects provide a greater level of community amenities and cohesiveness, achieve superior design and create a more desirable living environment than could be achieved through conventional subdivision design and requirements.*



Goal 2.6

Maintain an organized pattern of land use that minimizes conflicts between adjacent land uses.

Policies

- 1) *Require that new development be at an appropriate density or intensity based upon compatibility with surrounding existing and planned land uses.*
- 4) *Ensure that land uses develop in accordance with the Land Use Plan and Development Code in an effort to attain land use compatibility.*
- 5) *Promote compatible development through adherence to Community Design Element policies and guidelines.*
- 6) *Require developers to consider and address project impacts upon surrounding neighborhoods during the design and development process.*

Consistency Evaluation

The Mediterra Plan provides the tools for the development of the Plan area and accommodates a diversity of housing products centered around single family, mostly detached, with the potential for an attached product in one Planning Area. The land use designations allow an array of residential uses from Medium Density with a maximum of 12 dwelling units per acre to the Agricultural / Equestrian designation with a maximum of 2 dwelling units per acre. The most sought after housing product in the Highland submarket is that of conventional and Medium Density products that typically fall under the Low to Medium density categories. This range of housing accommodates the starter family market and the move-up market in a cohesive and well planned community. The variety of housing products distinguishes the different Planning Areas in lot sizes and consequently home sizes for a wider range of homeowner lifestyle and economic status. All uses are compatible with the surrounding uses and complement the existing housing stock.

As detailed throughout the Plan, the Mediterra community concept, level of amenities, infrastructure, provision for trails and pedestrian mobility, wealth of recreational assets, and other improvements make for a superior residential community and “a more desirable living environment than would be achieved through conventional subdivision design and requirements”. The community includes desirable amenities for the future residents of the community, allowing recreation and gathering opportunities under the open space and recreational uses. The Plan also protects the hillside to the north of the community by avoiding disturbance from development and by preserving the area as open space in perpetuity consistent with the City’s policies for protection of natural resources and hillside.



Goal 3.1

Provide a comprehensive transportation system that facilitates current and long-term circulation in and through the City.

Policies

- 1) Require new development proposals to ensure that all mid-block street segments operate at LOS “D” or better during the peak hours of traffic.*
- 2) Ensure that all intersections operate at LOS “D” or better during the peak hours of traffic.*
- 3) Ensure that the City’s street system be designed and constructed to accommodate the traffic generated by buildout of the General Plan land use designations.*
- 5) Design and employ traffic control measures (e.g., install traffic signals, provide access restrictions, etc.) to ensure city streets and roads function as intended.*
- 8) Require development proposals with the potential to generate traffic volumes or other impacts not adequately evaluated in the Circulation Element and the General Plan Program EIR to prepare a traffic analysis consistent and compatible with the City’s Master General Plan Traffic Model.*
- 9) Restrict the number of access points and intersections along arterials to preserve mid-block and intersection capacities and to maintain public safety.*

Goal 3.4

Provide a safe circulation system.

Policies

- 1) Establish the local street system within developing neighborhoods through a cooperative public/private planning process.*
- 3) Promote the principle that streets have multiple uses and users, and protect the safety of all users.*
- 4) Require new development to provide pedestrian paths and linkages through projects, locating linkages to avoid conflicts with motorized traffic.*
- 5) Discourage high-speed, through traffic on local streets with appropriate traffic-calming measures (e.g., traffic enforcement, bulb-outs, lane striping, chokers, etc.).*
- 6) Design access onto major arterial streets in an orderly and controlled manner.*
- 8) Implement street design features such as the use of medians, bus turnouts and consolidated driveways to minimize mid-block traffic congestion.*
- 10) Provide adequate sight distances for safe vehicular movement on roadways and at intersections.*
- 13) Support the planning of sidewalks of appropriate width to allow the provision of buffers to shield non-motorized traffic from vehicles.*



14) *Add raised, landscaped medians and bulb-outs, where appropriate, to reduce exposure to cross traffic at street crossings.*

Goal 3.7

Protect and encourage bicycle travel.

Policies

- 1) *Develop a system of continuous and convenient bicycle routes to places of employment, shopping centers, schools, and other high activity areas with potential for increased bicycle use.*
- 2) *Encourage new development to provide reasonable and secure space for bicycle storage.*
- 3) *Provide bicycle racks at all public facilities and along major public streets.*

Consistency Evaluation

The project adheres to the City’s goals and objectives of the City’s Circulation Element and adopts the standards for the implementation of circulation improvements that meet the City Standards and the specific needs of the Mediterra Community. The Plan employs a vehicular circulation system that distributes traffic across the development in an even and functional manner with a network of local streets with cul-de-sacs and short loops and a local collector that links the different Planning Areas with one another and with the community amenities. The internal circulation system adheres to the traffic circulation and safety standards while it adopts design guidelines specific to the needs of this community. Traffic calming measures are used within the community in an effort to reduce speed and enhance safety. Also, these measures enhance pedestrian mobility, which is further accommodated with pedestrian links, paseos, trails and other pedestrian mobility features. The use of chicanes contributes to the pedestrian safety for crossing local streets, while the design of paseos and trails is inviting for the community residents to get out for a walk, a jog, or a gathering at the local park. Pedestrian and bicycle facilities include Class II Bike Lanes, sidewalks, trails, walkways, crosswalks, and signage, all important to the community’s non-motorized transportation system and inviting for the local residents to make shorter walking trips within the community rather than by automobile, reducing the number of vehicular trips from and into the community.

The internal circulation system takes access from Greenspot Road, a major Highway and main transportation corridor for the East Highlands area. The improvements along the frontage of Greenspot Road by the Mediterra Plan follow the City of Highland standards. Also, the Plan calls for a raised and landscaped median for the main entry streets to the community from Greenspot Road as an additional measure of safety and aesthetic enhancement.



The Plan is supported by a Traffic Study that assesses traffic impacts from the Mediterra development and identifies contributions and improvements to mitigate such impacts and to insure an acceptable level of service per the City of Highland standards.

Goal 4.1

Coordinate and balance the provision of public services with development activity to eliminate service gaps, maximize the use of public facilities, provide efficient and economical public services, achieve the equitable and legally defensible sharing of costs of such services and facilities, and maintain adequate service systems capable of meeting the needs of Highland residents.

Policies:

- 3) *Ensure that existing residents and businesses are not burdened with the cost of financing infrastructure aimed at supporting new development or the intensification of existing development.*
- 4) *Continue to ensure that public water, sewer, drainage and other facilities needed for a project phase are constructed prior to or concurrent with initial development within that phase, unless otherwise approved by the City.*
- 5) *Continue to make the project sponsor of a proposed development ultimately responsible for ensuring the timely availability of all infrastructure improvements (including system-wide improvements) needed to support the development.*
- 14) *Maintain a development review process that places the ultimate responsibility on the project sponsor for ensuring that necessary infrastructure improvements (including system-wide improvements) needed to support new development are, in fact, available at the time they are needed.*
- 15) *Require the construction of public facilities as a condition of approval for a proposed development if the development exceeds the capacity of existing public facilities to support such development.*
- 16) *Continue to require that project applicants provide sufficient information in the application process so that the City may comprehensively determine the potential impacts and/or the need for improvements to existing services and facilities to support project buildout consistent with the City's performance.*
- 17) *Continue to require that all new development pay the applicable Development Impact Fees established by the City Council.*
- 18) *Maintain flexibility in the collection and application of Development Impact Fees to permit the construction of master planned facilities in lieu of fees when the City determines that it is in the public interest to do so.*
- 19) *Continue to require the construction of public facilities as a condition of approval where the value of the services and facilities needed to support buildout of a proposed development exceed established Development Impact Fees, as consistent with the City's performance standards. Require an agreement with the developer for*



reimbursement from future development fees for the excess costs. Such reimbursements shall be from future fees collected for the specific excess facilities, which the initial developer was required to construct.

- 22) *Continue to require that planned communities participate in the development of public infrastructure, in addition to the payment of development impact fees.*
- 25) *Continue to support an assessment district alternative to development impact fees for large-scale developments undergoing urbanization when a single owner or small number of owners is involved, and when it is in the public interest to do so.*
- 26) *Continue to allow new development and the intensification of existing development only where and when adequate public services and facilities can be provided.*

Consistency Evaluation

The Plan makes adequate provisions for the implementation of improvements necessary for the safety and wellbeing of the community residents per the City of Highland standards. The Phasing Chapter of the plan demonstrates the sequence and timing of the infrastructure improvements needed within the different Planning Areas of the community. The needed improvements are planned in a manner to rely on existing facilities with adequate capacity for the additional services. The improvements include water quality management provisions, separate drainage facilities for the natural hillside and the development area, and all wet and dry utilities along with the street system and other improvements. Assessment of project impacts and infrastructure improvements have been submitted to the City of Highland through reports addressing the impacts and proposed mitigation, if any, to ensure adequate services. Assessment District financing is a valid option for financing of infrastructure and related fees and costs and will be explored for the Mediterra project with the consent of the City of Highland.

The project also pays its obligation of Development Impact Fees (DIF) adopted by the City of Highland at the time of implementation of the Plan; these fees are set to guarantee the development's contribution to the cost of existing and future community-wide improvements.

The Plan also provides for the construction of a local neighborhood park and other recreational facilities that meet or exceed the requirements of the City of Highland with a sequence and timing that are adequate for use by community residents. The project advocate will seek the waiver of the Park Fee component of the DIF as the project will meet or exceed its park and recreation requirements by providing the various amenities in the community. The adoption of a Development Agreement is typically necessary for Planned Developments to serve as a mechanism for orderly and adequate sequential development such as for Mediterra.



Goal 5.1

Preserve, maintain and create views and vistas throughout the community to enhance the visual experience of Highland.

Policies

- 3) *Enforce hillside development standards that call for natural contour grading, environmentally sensitive design, shape and siting techniques, and fire-retardant building materials.*
- 6) *Require that hillside development be located below ridgelines and that structures themselves and accompanying landscaping conceal cut slopes and grading.*
- 7) *Encourage developers in high slope gradient areas to use raised floor systems and stepped footages to leave slope contours in a more natural state.*
- 11) *Enact provisions in the municipal code to minimize soil erosion, restore natural drainage surfaces, attenuate slope instability and reduce the amount of impermeable surface.*

Goal 5.5

Continue to reduce urban runoff.

Policies:

- 1) *Use water quality best management practices (BMPs) in land planning, project-level site planning and procedural requirements as part of the Storm Water Quality Management Plan.*
- 3) *Require site design practices that capture and channel specified percentages of rainfall and other runoff to permeable surfaces.*
- 6) *Retain water on site through the use of attractively landscaped retention basins and other measures to replenish aquifers.*

Goal 5.10

Maintain a high-quality system of parks that meet the needs of all segments of the community.

Policies

- 2) *Supplement existing development fee program for parkland acquisition with other funding sources, grants and programs (fee sponsors, corporate sponsors, fund raising, for example).*
- 3) *Use the redevelopment process for the selection, acquisition and funding of additional parkland in western portions of the City.*
- 4) *Prepare a phased strategy for developing new facilities.*
- 5) *Assess areas of potential annexation into the City and, if necessary, negotiate an agreement with the County of San Bernardino to provide parks meeting City standards within areas of eventual annexation into the City.*



- 7) *Provide handicap access to all parks.*
- 9) *Provide a variety of activity options, including active and passive uses, within each park.*
- 16) *Continue to implement the local park ordinance through developer dedication of parkland or in-lieu fees.*
- 17) *Require that new specific plans and planned unit developments (PUDs) incorporate sufficient park and recreation facilities along with natural open space areas, where appropriate, to serve the needs of their future residents.*
- 19) *Connect newly developed parks, wherever practical, to the existing and future bicycle and recreational trail system.*
- 21) *Adopt a density bonus program for development that includes usable park and open space lands above the City-required standard.*
- 22) *Develop recreational opportunities within the Greenspot area.*
- 23) *Design parks in accordance with contemporary safety standards and “CPTED” (Crime Prevention Through Environmental Design) principles.*
- 29) *Locate parks and recreation facilities within convenient walking and biking distance of all neighborhoods.*
- 30) *Integrate park and recreation facilities with existing and future trail and bikeways, wherever practical.*
- 31) *Prepare templates for proper on and off-site signage for all parks.*

Goal 5.11

Provide excellent opportunities and facilities for hiking, equestrian and bicycle use through the Multi-Use Trail Master Plan.

Policies

- 1) *Require, where appropriate, that residential, commercial and industrial developments within the City dedicate and construct trail links within their boundaries as part of the Multi-Use Trail Master Plan.*
- 3) *Support the acquisition of trail rights-of-way through dedication in conjunction with development activity or acts of philanthropy that occur prior to adoption of a route plan.*
- 4) *Where possible, locate trail easements within City-required landscaping or other easements.*
- 5) *Preserve, to the extent possible, existing formal and informal trail routes in the City, in particular routes that provide major north- south and east-west access.*
- 6) *Where an established trail is jeopardized by impending development or subdivision activity, require the dedication of trail easements, where appropriate, to establish a planned trail system alignment.*
- 7) *Require proposed development adjacent to trail systems to dedicate land for trailhead access points.*
- 8) *Where feasible, use active and abandoned roads, flood control, utility and railroad rights-of-way, and other easements for potential sites for expanded trail use.*



- 10) *Work with local, state and federal agencies; adjoining cities and jurisdictions; interest groups; and private landowners, in an effort to promote a Citywide trail system, and to secure trail access through purchase, easement, or by other means.*
- 11) *Locate trail linkages to minimize conflicts with motorized traffic.*

Goal 5.12

Develop and maintain trail and bikeway connections to recreational facilities, schools, existing transportation routes, natural features and regional trail systems.

Policies

- 1) *Provide trail connections between and/or along the major city and surrounding regional facilities, sites and features indicated on the Multi-Use Trails Master Plan.*
- 4) *Require the dedication of trail easements, where appropriate, for establishing a planned trails system alignment, or where an established trail is jeopardized by impending development or subdivision activity.*

Consistency Evaluation

Highland enjoys a beautiful and dramatic backdrop hillside at the base of the San Bernardino Mountains with views and vistas that are most treasured by the community residents. The City has long realized the importance of preservation of such view assets which create and maintain a sense of community. The Mediterra Plan supports the City's tenacity in achieving the conservation and open space goals and takes important steps in implementing these objectives for the community. Preserving the hillside backdrop to the north of Mediterra is an important part of the Plan. While view preservation includes "*careful regulation of hillside development by encouraging low profile massing and natural colors and building materials*" as stated in the General Plan, the Mediterra Plan takes a deliberate approach in avoiding any development on the hillside as the best measure of preservation. The dedication of this area as open space in perpetuity and as an integral planning and functional component of the community will also enhance the residents' enjoyment of the open space with the opportunity to experience the various activities such as hiking, riding, and other outdoor uses.

Runoff from the new community is efficiently channeled into a local collection system that leads to a Water Quality Management Plan Basin to control pollutants from the development area. The Conceptual design of the WQMP Basin has been reviewed and approved by the City of Highland designed for control of sediment, trash, fertilizers, pesticides, heavy metals and petroleum products. Based on current City park standards there is a deficiency in park space, mainly in neighborhood and community-level uses. With the Mediterra Plan the City will not have the burden of acquiring land and designing the parks needed for the new community residents. All recreational facilities will be provided by the development. Highland's population contains a large percentage of residents under the age of 20 with continued future demand for play space and outdoor activities. The Mediterra Plan provides a



very inviting park design with uses that will be attractive to a wide range of the community residents. User preferences are carefully addressed with the intent of providing play, gathering, relaxing, and other outdoor opportunities for all community residents. Consistent with City policies, the neighborhood park and other amenities are located within convenient walking and biking distance of all neighborhoods.

The views afforded from the Hillside trail are some of the finest in the region. An accessible trail system not only promotes exercise, but also links community facilities and neighborhoods together. The uses of such trails include any combination of bicycling, hiking, or equestrian uses. While such trails are primarily used for recreation, they can also be used to provide access to community facilities, such as parks, transit stops, or local schools. The Mediterra Plan provides a wealth of such amenities with a wide variation and intensity of uses. The Plan contains the Hillside Trail, the North Fork trail, and the Paseo Ramblas. Each functions as a separate trail link with difference in improvement, experience, grade, accommodating hikers, joggers, bicyclists and equestrians. The local park acts as a trail node as all of the Mediterra trails connect with this frequented community amenity.

Goal 6.1

Minimize the risk to public health and safety and disruption to social, economic, and environmental welfare resulting from seismic and geologic activities.

Policies

- 2) *Enforce the requirements of the Alquist-Priolo Earthquake Fault Zoning Act and require the preparation of reports pursuant to the Act as part of the development review process for all new projects.*
- 4) *Continue to evaluate all new development within the Alquist-Priolo Earthquake Fault Zone.*
- 8) *Continue to monitor new building materials used for earthquake stability and fire resistance and incorporate such materials into plan checks when applicable.*
- 9) *Continue to enforce as part of the development review process site-specific analysis of soils and other conditions related to the onsite impact of maximum credible seismic and geologic events.*

Goal 6.3

Reduce the risk to life and minimize physical injury, property damage, and public health hazards from the effects of a 100-year storm or 500-year storm and associated flooding.

Policies

- 1) *Review all proposed development to ensure that structures designed for human occupancy are accessible in the event of a 100-year storm and are protected from the 100-year storm to a point one foot above the floodplain.*



- 3) *Require a drainage study be completed by a qualified engineer prior to all proposed development to certify that the proposed development will be adequately protected and that implementation of the development will not create new downstream flood hazards.*
- 4) *Require all development in the City and its sphere of influence comply with discharge permit requirements established by the Regional Water Quality Control Board.*
- 7) *Utilize flood control methods that are consistent with Regional Water Quality Control Board Policies and Best Management Practices (BMPs).*

Goal 6.5

Protect life and property from wildland–urban interface fires.

Policies

- 1) *Review the vulnerability of new development in areas with the potential for wildland-urban interface fires and incorporate appropriate mitigation measures in the conditions of approval.*
- 2) *Ensure the adequate protection of proposed and existing development in areas subject to wildland-urban interface fires and balance the need for fire prevention measures with the need to preserve significant biological resources.*
- 3) *In areas designated as Fire Hazard Zone I and Fire Hazard Zone II, and as set forth in the Municipal Code, continue to incorporate additional fire safety standards, such as:*
 - *Secondary or alternative access for all new development in a fire safety review area;*
 - *Increased setbacks from fuel modification areas and fire hazard areas;*
 - *Perimeter roads adjacent to development; or*
- 7) *Enforce the Fire Sprinkler ordinance for all newly constructed buildings.*
- 8) *Require all development to meet the emergency water service standards established by the East Valley Water District.*
- 9) *Encourage the use of fire proof construction materials.*

Consistency Evaluation

Consistent with the goals and policies of the City’s General Plan for Geology, Seismicity and Liquefaction geologic studies and investigations have been undertaken to confirm the absence of active faults within the development area of the Plan. Fault trenching and other field investigations such as seismic refraction tests, along with review of existing reports of prior investigations were provided by LOR Geotechnical Group. The review by the San Bernardino County Geologist led to the clearance of certain areas of the Plan for immediate development with guidelines and recommendations for further investigations as the project progresses into implementation. The development area of the Plan occurs immediately to the east of and in line with the existing community to the



west; that community was cleared in recent years for a residential development by the applicable reviewing agencies. The Plan will adhere to the recommendations and requirements of the City of Highland and the San Bernardino County Geologist and will continue to implement the applicable policies and provisions for a safe residential community.

The Mediterra community is located within the Fire Hazard Zone I. The City allows residential development within this area provided special precautions are taken, especially along the interface between developed and natural areas. Simply stated, the best fire mitigation measures are those of avoidance. The Mediterra Plan has been crafted to avoid or minimize the fire exposure from the rising hillside to the north. Planning Area 1, 2, and 3 are adjacent to the hillside and the Plan adopts the necessary measures to minimize the fire exposure to these areas. Although relatively low in fuel content, the Mediterra Plan deliberately avoids encroachment into the natural open space for development. Adequate separations between the residential structures and the hillside along with other fire safety measures have been adopted at the northerly edge of the community. Different planning concepts and edge treatments are implemented in the site plan including setbacks, road frontages, trail placement, and others. These measures greatly minimize exposure to hillside fires. In addition to the avoidance measures the plan provides for easy access to the North Fork Trail along the north edge of the community to the fire Department from adjacent cul-de-sacs or other public streets. The North Fork Trail also serves as non-combustible fire buffers between the hillside and the neighborhoods. City consultants and the Fire Department have reviewed the community design and have agreed to its adequacy for avoidance of fire exposure. Also, a fuel modification zone shall be established and periodic inspections as required by the Fire Department shall be conducted by HOA consultant(s) approved by the Fire Department. If fuel abatement is deemed necessary then it shall be performed by the HOA to the satisfaction of the Fire Department.

Goal 7.1

Protect sensitive land uses and the citizens of Highland from annoying and excessive noise through diligent planning and regulation.

Policies

- 1) Enforce the City's Noise Control Ordinance consistent with health and quality of life goals and employ effective techniques of noise abatement through such means as a noise ordinance, building codes and subdivision and zoning regulations.*
- 2) Encourage the use of site planning and architectural techniques such as alternative building orientation and walls combined with landscaping to mitigate noise to levels consistent with interior and exterior noise standards.*
- 3) Require mitigation where sensitive uses are to be placed along transportation routes to ensure compliance with interior and exterior noise standards.*



- 7) *Require that site-specific noise studies be conducted by a qualified acoustic consultant utilizing acceptable methodologies while reviewing the development of sensitive land uses or development that has the potential to impact sensitive land uses. Also require a site-specific noise study if the proposed development could potentially violate the noise provisions of the General Plan or City ordinance.*

Consistency Evaluation

The project shall implement the applicable standards for noise and vibration reduction set by the City of Highland. A site-specific noise study has been conducted for the project setting noise reduction measures with provisions for noise barriers and berms. The highest level of noise exposure is from Greenspot Road with the anticipated traffic volume. The noise reduction measures are typical to similar existing conditions along Greenspot Road to the west of the Plan and include a combination of berms and grade contouring, masonry walls, and noise barrier view fencing where desired.

Goal 8.2

Facilitate the development of housing suitable for the diverse needs of current and future Highland residents.

Policies

- 3) *Ensure new residential projects are adequately served by park and recreation, libraries, transportation, public safety, and other public services and facilities.*
- 4) *Encourage the development of a range of housing types in targeted areas of the City, such as inventoried vacant residential sites, Planned Development districts, Mixed Use districts, and special Policy Areas identified in the Land Use Element.*

Consistency Evaluation

The Mediterra Plan provides a diverse set of residential products in a community of high quality residential neighborhoods. The lot and home mix ranges over a wide span of sizes to accommodate different homeowner economic and social status, needs, and lifestyles. This approach meets the City of Highland's goals, objectives, and policies for a diverse development and for housing opportunity for various segments of the community. The Mediterra planning approach facilitates the implementation of the City goals and policies with the inclusion of desirable and cost effective recreational opportunities for the future community residents. This is achieved by the provision of welcoming and safe public places with functional amenities, open space, and neighborhood gathering places.



Chapter 11: Plan Implementation

The City of Highland shall administer the implementation of the Mediterra Planned Development. The standards and specifications of this Planned Development document shall supersede the relevant provisions of the City's Zoning Ordinance, as they currently exist or may be amended in the future. Any development regulation and building requirements not addressed in the Specific Plan shall be subject to the City's adopted regulations.

11-1: Amendments to the Plan

11-1.a: Administrative Amendments

Administrative amendments allow for minor changes to the Plan and may be approved by the Director of Community Development. In all cases amendments must be found to be consistent with the objectives and standards of the Mediterra Planned Development Plan.

Upon determination by the Director of Community Development, certain minor modifications to the Plan shall not require formal amendments through public hearings. The Director of Community Development shall have the authority to approve modifications to the Plan as follows:

- Final adjustment of limits between A/Eq area of Plan and the Open Space.
- Changes made by utility and service providers.
- Minor deviations to adopted quantifiable development standards or expansion or reduction of the size of a Planning Area or the transfer of dwelling units between Planning Areas provided the deviation does not result in a change of more than 15% to an adopted quantifiable development standard or the expansion or reduction does not exceed 15% of the approved size of the Planning Area or the transfer does not exceed 15% of the number of units in the Planning Area.
- Minor changes to Landscape treatments, fencing, lighting, trails, and entry treatments, provided the modifications are in substantial conformance with the intent and theme of the specified design criteria.



- Any other modifications of a similar nature to those listed above and which are consistent with the purpose and intent of the Plan, the Highland Municipal Code, and the City of Highland General Plan.
- Changes in the drainage pattern, water quality management, and discharge locations as may be approved by the City Engineer.
- Realignment or modifications of internal streets as may be approved by the City Engineer.
- Revisions to the phasing plan and sequence of implementation as may be approved by City Staff.

11-1.b: Major Plan Amendments

Changes to the Mediterra Planned Development Plan that would substantially alter the land use or overall concept shall be considered major amendments and shall be reviewed by the Planning Commission and approved by the City Council including:

- Expansions or reductions of the size of a Planning Area provided the change exceeds 15% of the approved size in the Plan.
- Transfer of dwelling units between Planning Areas provided the change exceeds 15% of the number of units in the Planning Area and so long the overall number of units approved in the Plan is not exceeded.
- Annexation to the Plan of areas not originally included in the approved Plan.

For such major amendments to the Plan, it shall be the responsibility of the applicant to demonstrate that:

- The proposed amendment meets the goals and objectives of the City's General Plan and the original intent of the Mediterra Plan; and
- Any impacts to the Planned Development Plan resulting from the amendment can be satisfactorily addressed.





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